

TOWN OF



HUDSON, MASSACHUSETTS

Open Space & Recreation Plan



Assabet River Rail Trail

2016

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I. Plan Summary



For the past 35 years, Hudson’s Open Space and Recreation Plans have highlighted the need to retain the small town, suburban character of the community. As raw acres of land were consumed for residential, commercial/industrial and retail development many individuals began to realize the importance of preserving open land not just to maintain the Town’s overall character, but to contribute to the health and wellbeing of its residents.

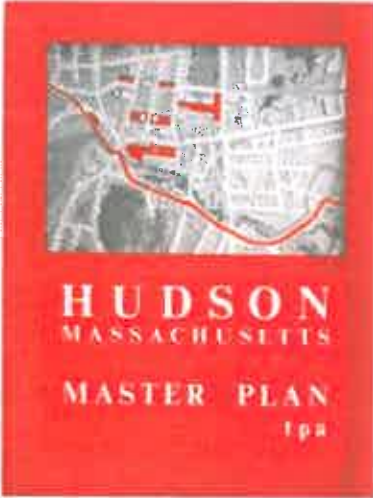
The first Open Space and Recreation Plan written in 1976 stated “the increasing need to conserve land has been recognized at all levels of government”. The 1999 Plan stated “the focus to protect natural environments is the most important goal”. The most recent plan, expiring in 2013, stated “a good balance between the natural environment and development continues to be essential to the quality of life goals in this community.”

Some progress has been made to protect natural environments. Since the year 2000, over 79 acres have been purchased, donated or negotiated for open space, recreation and water resource protection. This is approximately 10% of Hudson’s total acreage, a rather small percentage in that thirteen year period.

This document will continue the efforts identified in the three previous Plans to conserve our valuable natural resource areas, protect the large agricultural properties in the eastern end of Town, create a variety of recreational opportunities in the densely populated western section of Hudson and protect our water resource areas. It will also look at current public properties to identify maintenance and upgrades to various recreation and conservation areas.

This update will serve to recommend to our residents the benefits of retaining and enhancing the natural environment to ensure that we do not compromise our natural features that link us to our pastoral routes. Conservation and recreation land preservation must keep pace with development to protect the land surrounding our public water resources, the Assabet River, its streams, tributaries and connecting lakes and ponds. Specific actions will be highlighted in this process to achieve those goals.

In January 2013, a public forum entitled “*Open Space, Recreation and Historical/Cultural/Natural Resource Preservation*” was held and some information from that Summary Report was used in updating this plan. Also in January 2013, a separate Open Space and Recreation Survey was distributed through various means.



Hudson's original Master Plan, 1964

Additionally, a “*Public Buildings & Facilities*” forum was held in June 2013. Outcomes from that session are also incorporated into this Plan. Hudson’s Master Plan, adopted by the Planning Board in November 2014, won an Outstanding Plan Award from the Massachusetts Chapter of the American Planning Association for its innovation, quality, transferability, implementation and comprehensiveness, notably including chapters on Public Health/Social Services, and Energy Planning. The Master Plan was used as a key resource when updating the Open Space and Recreation Plan.

II. Introduction

A. Purpose of the Plan

The Town of Hudson's intention for this plan is to clearly identify goals and objectives for the next seven years regarding future open space, natural resource protection, conservation efforts and community recreation needs.

The Town of Hudson realizes the importance of an up-to-date Open Space and Recreation Plan to ensure a balance between the natural, historic, and environmental features of the Town with those that are developed. This plan attempts to create that balance through recommending land acquisitions, focusing on maintenance and upkeep of existing Town conservation and recreation properties and identifying areas it hopes to preserve in their natural state for wildlife habitats and green space.

The Town is pleased to report the accomplishments achieved between 2000 and 2015. Below is a chart that lists those accomplishments during that time period.

Chart 1 - Land Acquisition, Protection and Development:

Parcel Name	Address	Town Meeting Funding	Other Funding	Explanation	Protection	# of Acres	Year	Priority
Clement Kane	Chestnut & Stoneybrook		Gift	Negotiated by Sudbury Valley Trustees	Conservation restriction	15.61	2000	Adjacent to Marlboro conservation
Loureiro	Port & Riverview Streets	\$65,000	\$65,000	EOEA/DCS Land & Water Conservation Grant	State funded	2.5	2001	Adjacent to Apsley Park & Wood Park
Mayo	Route 85 & Falls Brook Road	\$50,000	\$50,000	Donations from Ansari Builders & Hudson Savings Bank	Deed restriction	9.0	2001	Adjacent to Danforth Conservation
Parcel P	Falls Brook Road		Gift	Land trade prior to development	none	.13	2002	Adjacent to Mayo
Warner	Riverview Street		Gift	Donated land	Deed restriction	1.1	2002	Adjacent to Loureiro & Apsley
Thomas Taylor	Cherry Street	\$5,000		Order through bankruptcy court	none	1.5	2003	Adjacent to Cherry St Field
Larkin	South & Houghton Streets	\$75,000	75,000	EOEA/DCS Land & Water Conservation Grant	State funding	1.0	2004	Adjacent to existing South St. Park
Sauta Cornfield	Brook Street		Gift	Permanent easement	Deed restriction	5.6	2005	Across from Sauta Complex

Parcel Name	Address	Town Meeting Funding	Other Funding	Explanation	Protection	# of Acres	Year	Priority
ARRT properties	Marlboro to Wilkins Street					3 miles	2005	Rail Trail
Rivers Edge	Brigham Street		Gift	Negotiated with developer	Conservation restriction	12.76	2006	Assabet River Wetland Area
Fossile Property	43 Brigham Street	\$350,000 CPA funds		Purchase	Deed restriction Conservation restriction	6.0	2008	Assabet River, adjacent to Wood Park and HHS
Parcel A	Laurel Drive			Accept deed in lieu of foreclosure	none	1.22	2008	
Schofield Property	Cranberry Lane	\$27,750 CPA funds	\$27,750	Drinking Water Protect Grant	Deed restriction Conservation restriction	16.9	2009	Adjacent to Cranberry Well
Hunter Swamp - Parker	landlocked	Gift		Accept as gift	none	6.5	2012	Adjacent to Kane & Chestnut Street Wells
Gerwick Property	481 Main Street	\$831,000 CPA Funds		Purchase	Conservation restriction	26.88	2014	Gospel Hill Preservation
Lot A	Wheeler Rd/ Westridge			Negotiated with developer	Conservation restriction	10.04	2007, CR-2015	Assabet River Wetland Area

Recreation Accomplishments

- The most significant recreation resource was the development of Hudson’s section of the Assabet River Rail Trail, opened to the public on September 24, 2005.



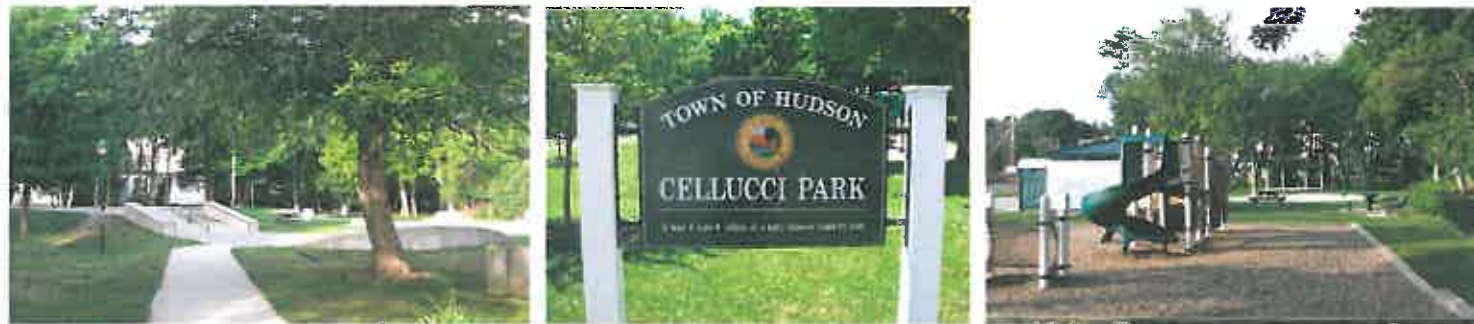
Assabet River Rail Trail (ARRT)

- Next was the development of the 19 acre Sauta Property parcel into a multi-purpose athletic complex in the eastern end of Town where no recreation opportunities existed in that part of town.



Sauta Field – baseball diamond, playground area and combo football/soccer field

- Numerous improvements have been made to existing facilities through the replacement of backstops, fencing, and the installation of irrigation systems, contributing to the ease of maintenance as well as cost savings to the Town.
- In May of 2004, the Town entered into an agreement with a developer of a parcel for over 55 housing, to donate over 6 +/- acres for recreation purposes, also in the eastern end of Hudson. This parcel was developed into a large soccer field area in 2012 using Community Preservation funds.
- Through an additional “over 55” development, there will be significant renovations to a soccer/football combination field abutting the development, which will include parking, spectator landscaping and a new playground.
- In the center of town, along the bank of the Assabet River, a new urban park opened in June 2008 with amenities such as a skateboard area, splash pad, playground, and pavilion. A one acre parcel of land was purchased in conjunction with EOEA/DCS Land and Water Conservation Funds to expand an existing park. The Town also successfully received a grant through DHCD’s Community Development Block Grant program to fully develop the two connecting parcels, now known as Cellucci Park.



Cellucci Park Skate Park

Cellucci Park Playground and Splash Park

- In July of 2008, the Town purchased a significant 6 + acre parcel (Fossile Property) adjacent to Hudson High School, with Community Preservation funds. This land, located on the Assabet River with a small man made pond, was purchased for recreation and conservation purposes. It was graded, loamed and seeded in the fall of 2012, also using Community Preservation funding and is opened in the spring of 2014. It will be used as a multi purpose practice field for Hudson High School and also provides residents access to the Assabet River.



Pond on Fossile Field



Fossile Field Development Oct 2013

- In 2009, Hudson's Recreation Department collaborated with Hudson Arts Alliance on the Pathways Project that brings art and culture to the Assabet River Rail Trail. The six kiosks along the trail feature Hudson Public School art projects of indigenous wildlife, Hudson's historic elements and winter scenes from around the town to name only a few. Additionally, Hudson High and Marlborough High students painted a mural in the I290 tunnel highlighting historic events. Wood sculptures and metal art (designed and produced by Assabet Valley Technical High School students) appear along the trail.
- In May of 2014, the Park Commission/Recreation Department added a third full-time position. This will enhance their administrative capacity to manage and facilitate more programs and services for the community. With the ever growing trends in recreation activities to serve the health and well-being of residents, it was important to have additional staff to oversee the many facilities, programs and other services provided within Hudson.



Wood Sculptures



Assabet Valley Metal Art



Mural Painting

Conservation Accomplishments

- The acquisition of the 9 acre Mayo Property, comprised of water falls and other rock formations, is adjacent to the Town-owned Danforth Conservation Property.

- Two significant pieces of property, known as the Loureiro property and the Warner property, were protected from adverse development on the northern shores of the Assabet River. The Loureiro property was purchased through EOE/DCS Land and Water Conservation Funds and the Warner property was donated by the Warner family. The Loureiro Property is now the home of Hudson Community Garden run by a volunteer group.



Loureiro Property - Before



Loureiro Property – Community Garden



- Two additional pieces of conservation land were acquired through negotiations with developers of housing subdivisions:
 1. The Rivers Edge project, on the south-west section of the Assabet River, placed a conservation restriction on 12.0 +/- acres for conservation purposes.
 2. Westridge Development, an over 55 community, deeded 10.0 +/- acres along Wheeler Road for conservation purposes. This conservation restriction was accepted at the November 2015 Town Meeting.
- In May 2014, the Town purchased one of our largest open space parcels yet – the Gerwick property at 481 Main Street. Funded through CPA, the purchase of this land protects 26.88 acres on Gospel Hill, one of our highest priority preservation areas. The acquisition of this land preserves open space, and encourages passive recreation.

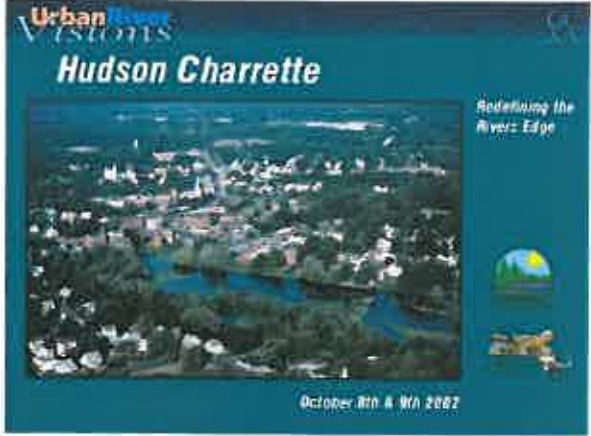
Water Resource Accomplishments

- The Schofield property, purchased with CPA funds in 2009, preserves 16.9 acres adjacent to the Cranberry Well for water resources protection and recreation. The Schofield property also lies next to the Mass Central Railroad ROW.
- Hunter Swamp, a 6.5 acre parcel given as a gift by the Parker family in memory of Lloyd and Arline Parker, was accepted by the Town at the November 2012 Special Town Meeting.

Value of Planning

Several years ago, the Town participated in three comprehensive planning programs: the Urban River Visioning Initiative, the Community Development Plan, and the Freedom's Way Heritage Landscape Program. The Urban River Visioning Initiative has proved to be a valuable planning tool in assisting the Town in exploring ways to revitalize the Downtown centered on the Assabet

River. It also assisted with efforts to reclaim the river as an economic asset, as well as an important environmental and recreational resource. The Community Development Plan further reiterates the importance of preservation of our water resources areas, natural habitats for wildlife, agricultural lands, all of which are features that have contributed to the rapid residential and commercial development of this town. The Freedom's Way Heritage Landscape project was invaluable in assisting the Town with identification of key natural landscape areas that it holds dear. Copies of all of those plans are available at the Town Hall, the Public Library and are posted on the Town's website. Most of the parcels, acquired either through negotiations with developers or outright purchase, are on the Assabet River or adjacent to that most important body of water. The Community Preservation Plan annually updates the Project section with input from two public hearings, identifying potential projects that could qualify for funding. This document gives the Community Preservation Committee the necessary information on outside non-profit organizations that may seek funding for housing, historic preservation, open space and recreation in the near future, as well as information from other governmental bodies in town.



Urban River Visions, 2002

Moving forward, our newly adopted 2014 Master Plan should give the Town very specific information on a broader scale of the long term physical development of Hudson and will be used as a decision making tool. The Plan includes information regarding land use, housing, economic development, natural and cultural resources, open space and recreation, services and facilities and a guide for implementation.

Administrative Accomplishments

The 1999 Open Space and Recreation Plan indicated a need for better communication between the Boards and Committees that play an integral part in the permitting process for private development, open space and recreation planning. The Town created a full time Board and Committee Coordinator/Planning Assistant in 1999, to serve the Conservation Commission, Planning Board, Zoning Board of Appeals, Economic Development Committee and Internal Traffic Committee in an effort to bring greater communication between those boards. In 2001, the position was changed to a Land Use Coordinator. In November of 2004, the Town hired a Conservation Agent and changed the responsibilities and description of the Land Use Coordinator position to a full time Town Planner. This was a major step for the Town at a time when it foresaw the need to steer development and rewrite by-laws to change various patterns of local zoning to foster Smart Growth. Limiting its effectiveness, the Conservation Agent's position has since changed to a split clerical position for both the Conservation Commission and the Board of Health. With the increased recognition of the



Liberty Park on Mill Pond

importance of public health, this position was separated again in 2016 into a full time Town Planner/Conservation Agent and a full-time Board of Health Assistant.

In May of 2014, the Park Commission/Division of Recreation added a third full-time position. This will enhance their administrative capacity to manage and facilitate more programs and services for the community. With the ever growing trends in recreation activities to serve the health and well-being of residents, it was important to have additional staff to oversee the many facilities, programs and other services provided within Hudson.

In summer of 2015, the Town merged the Planning and the Community Development Departments. This new Planning and Community Development (PCD) Department also absorbed the part-time Conservation Agent position, thereby putting all land use under one departmental umbrella. A Director was hired in August 2015, with an Assistant Director brought on board in December 2015. In February 2016, we hired a full-time Town Planner/Conservation Agent. With the creation of this third position, Hudson will have better oversight for major projects, encouraging conversations with developers to use the new by-laws, as well as the professional capacity to build a robust resource management program.

Policy Accomplishments

According to the 2012 Massachusetts Statewide Comprehensive Outdoor Recreation Plan (SCORP), the Interstate 495 belt is developing more rapidly than other areas and is considered a “sprawl frontier.” Open space is one of the most obvious casualties of urban sprawl. The desires to protect open space and to mitigate the negative impacts of urban sprawl are contributing to a groundswell of support for Smart Growth practices. Smart Growth is seen by many people to be an antidote to the plague of unmitigated urban sprawl. The May 2007 Annual Town Meeting adopted three significant zoning by-law changes to foster Smart Growth principals, by-laws that will assist in targeting new growth to areas with adequate infrastructure to improve land use, while preserving valuable open space. Those by-laws are Open Space and Residential Development, the Adaptive Re-Use Overlay District and Accessory Dwelling Units.

Open Space and Residential Development (OSRD) allows greater flexibility while encouraging the permanent preservation of open space, agricultural land, forestry land, wildlife habitats and other natural resources such as aquifers, water bodies, wetlands and historical and archaeological resources. It incentivizes the developer with a density bonus, while providing for efficient, less sprawling development that conforms to the topography and natural features, while minimizing the total amount of land disturbance on a site.

The Accessory Dwelling Unit By-Law allows residents in a single family neighborhood the opportunity to develop moderately priced rental units to meet the needs of smaller households, create units for persons with disabilities and/or provides the appropriate housing for individuals at various stages of their life cycle, while preserving the residential character of a neighborhood.

The Adaptive Re-Use Overlay District (**MAP 6**) is designed to encourage the reuse of existing buildings and allow mixed use development, to foster housing opportunities closely related where appropriate. It will promote more compact designs, preservation and enhancement of open space to meet the goal of preserving community character, yet meet the needs of a wide range of household incomes.

B. Planning Process and Public Participation

This plan is the culmination of years of public hearings through the Upper Assabet Riverway Plan, the Urban Rivers Visioning Initiative, the Community Development Plan, the Freedoms Way Heritage Landscape Program, the Community Preservation Plan, recent hearings during the Comprehensive Master Plan process and many planning efforts of a regional nature.

An Open Space and Recreation survey was developed prior to the Master Plan public forum and completed in July 2013 (a copy and the results attached in Appendix A) and respondents had over six months to reply. Handouts were given to those attending the public forums and on-line surveys were sent to over 4,000 individuals through the Recreation on-line registration website, as well as being included in E-news sent out to elementary and middle school student households within Hudson Public Schools. Nearly 350 individuals responded to the questionnaire via Survey Monkey.

The Planning & Community Development Department of Hudson is extremely involved in regional planning efforts through MAPC and various other state agencies to strengthen and coordinate efforts on a regional basis. Those initiatives include Metro West Future (broad based planning to alternative futures), Commonwealth Connections (greenway vision for Massachusetts), Sustainable Metro Boston (pedestrian and bicycle planning network) and the 495/MetroWest Development Compact Plan to mention only a few.

Hudson’s Open Space and Recreation Plan will continue to promote open space and conservation, while recommending enhancements for recreation opportunities to maintain and improve the quality of life in Hudson. It will also attempt to raise awareness of the importance of protecting important environmental features and historic areas to preserve the character of our community. The plans and public hearings held over the last ten years give this administration an infinite amount of information from the community on their perception of Hudson and where it should be heading in the future. The goals and objectives from previous plans, the public forums held during the Master Plan, regional planning documents and the survey will be incorporated into this Open Space and Recreation Plan update.

III. Community Setting

A. Regional Context

Location

Hudson is almost equidistant (about 20 miles each way) between the Boston urban complex to the east and Worcester to the west. These two metropolitan areas comprise the largest and densest population clusters in the state. Hudson is clearly in the suburban ring between these two cities and subject to the development pressures attendant to such a location (MAP 1).

Hudson is the westernmost town in Middlesex County. Marlborough borders to the south, while Sudbury and Berlin are to the east and west respectively. Both Bolton and Stow are to the north.

Physical Context

Most of Hudson’s storm water and groundwater drains into the Assabet River. The Assabet, along with the Sudbury River to the east, is a major tributary to the Concord River. These three rivers comprise the SuAsCo Watershed District. Portions of these rivers, comprising a total of twenty-nine miles of river, were designated as Wild and Scenic in April of 1999, and were recognized for their outstanding ecological, historical, scenic and recreational values.



A tiny portion in the extreme east of Hudson (bordering Sudbury & Marlborough) drains into Hop Brook in the Town of Sudbury and then into the Sudbury River. The Concord River, in turn, flows northeast, joining the Merrimack River in the City of Lowell, and entering the ocean in Newburyport. Hence, even though Hudson lies in the east-west Boston/Worcester population in transportation “orbit”, its physical orientation lies more to the northeast.

Hudson, like some of its neighbors on the

Assabet River, is a town that has always been dominated by water, particularly the Assabet River. The river has physically and culturally shaped the downtown due to the early development of mills on the main stem and its tributaries: Hog Brook, Tripp’s Pond, Danforth Brook, Bruce’s Pond and Tannery Brook. Two lakes created by damming streams have encouraged residential development: Fort Meadow Reservoir (partly in Marlborough) and Lake Boon (partly in Stow). In the early 1900’s, both of these lakes attracted city dwellers, resulting in summer cottage development. These cottages have virtually all been converted into year round residential homes with ‘infill’ of vacant parcels now being developed.

Due partly to Hudson’s industrial heritage and lack of sufficient fertile land, agriculture plays a relatively smaller role. This part of Massachusetts is typically known as apple country and Hudson had orchards on its hills. Perhaps the best known orchard and farm area in town is Gospel Hill,

located in the geographic center of Town and portions of this area are still active agricultural land. Other major agricultural lands in town have long since been converted to housing and commercial development. For instance, Roundtop Hill was converted to the manufacturing site for Digital (now Intel) and the neighboring area known as Lakeview is now dense single family housing lots.

Consistency with Regional Planning

Hudson is within the Metropolitan Area Planning Council (MAPC) region, which includes the 101 cities and towns of Metropolitan Boston and is guided by the MetroFuture regional plan. The mission of MAPC is to promote smart growth and regional collaboration, and the goals, objectives, and implementation strategies of MetroFuture strive to achieve this mission. Hudson’s Open Space and Recreation Plan includes a number of goals, objectives and action items which support MetroFuture. Action items which are consistent with MetroFuture strategies include protecting additional land around water supplies, enhancing urban recreational opportunities, working cooperatively with other towns to link projects and properties, use of the new Open Space Residential Development Bylaw and Adaptive Re-Use Overlay District Bylaw, and pursuit of funding through the Community Preservation Act and other state and federal funding sources.

In addition to MetroFuture, the Hudson Open Space and Recreation Plan supports other regional planning efforts, including the 495/MetroWest Development Compactt Plan. Hudson has recently acquired an important parcel of land highlighted as a Priority Preservation Area (PPA) in this plan, the Gerwick Property and includes the protection of a number of other PPAs as Action Items in the Seven Year Action Plan.

As further described in the next section, Hudson is an active participant in a number of regional organizations and a proponent of a number of regional projects. Hudson is proud to have completed its section of the Assabet River Rail Trail, which is planned to eventually link five towns. A key Objective with a number of associated Action Items in the Open Space and Recreation Plan is “Work cooperatively with other Towns to link projects and property”.

Resource Relationship with Adjacent Towns

Perhaps the most important physical relationship the Town of Hudson has with adjacent communities is the Assabet River. What occurs upstream in Westborough, Northborough, and Marlborough affects Hudson, just as what occurs in Hudson affects downstream communities like Stow, Maynard, Concord and those beyond. Dams are a common historic feature on the Assabet, powering mill buildings from the time of the Revolutionary War to the industrial revolution. Not only do these dams have had a major effect on the history of the river and the condition of adjacent towns , but they also continue to shape our current view and use of the river. OARS recently completed a Sediment and Dam Removal Study. They are investigating the effects that dam removal will have on the overall health of the Assabet. Hudson has a large impoundment area where sediment is trapped causing the build up of phosphorus, a nutrient which feeds aquatic vegetation to nuisance levels. It is widely known that reducing phosphorus discharge from wastewater treatment plants will help the overall health of the river, but the large impoundment areas are also a major cause of pollutants.

The Town of Bolton to our north is procuring a large section of open space that borders Hudson and our Danforth Falls Conservation area. Bolton is proposing to build a children’s forest playground area that will be accessible to Hudson residents through the Danforth natural trail system.

Today, one of the most important recreational resources is the multi-town Assabet River Rail Trail (ARRT). It is planned to eventually traverse through five communities: Marlborough, Hudson, Stow, Maynard, and Acton. Currently, 5.5 miles of trail through Marlborough and Hudson are open for public enjoyment and design is underway in Acton and Maynard for their portions of the trail. Stow is working with landowners to assemble the parcels it needs to make the connection between the two segments. The five communities continue to pursue design and construction of Stow, Maynard and Acton and have recommended to the Metropolitan Planning Organization that the ARRT project be restored to the Transportation Improvement Program (TIP).



Centennial Beach, Hudson on Fort Meadow Reservoir

The Town of Hudson and City of Marlborough also share use of Fort Meadow Reservoir for swimming and boating activities. The Fort Meadow Commission consists of residents from both communities who are responsible for environmental impacts on the lake and recommendations to alleviate those as well as various water activities rules and regulations. A ramp and revitalized boat house are open to residents in both communities during the spring,

summer and fall months. Both communities are fortunate to have public beaches on the reservoir.

Hudson also shares another large lake with the Town of Stow in the eastern end of Town, Lake Boon. The Town of Hudson does not own any public waterfront property on this lake. This lake was historically summer residences, cottages which have now been converted to year round homes. The Lake Boon Commission consists of individuals from both communities that work diligently on weed infestation problems and rules and regulations for lake use by residents of both communities.

In November 2013, the Expanded Environmental Notification Form (EENF) for the Mass Central Rail Trail – Wayside Branch was filed. This is will advance the vision of a rail trail system that will link Berlin, Hudson, Stow, Sudbury, Wayland, Weston and Waltham, for a 23 mile trail. The Massachusetts Department of Conservation and Recreation obtained a 99-year lease agreement with the MBTA for that segment of the trail in 2011.

Open Space in Hudson

The two largest parcels of open space in Hudson lie in the eastern section of town, the Marlborough-Sudbury State Forest and several privately owned farms on Gospel Hill. The state forest is contiguous with open land of adjacent towns such as the watershed of White Pond (a surface water supply for the Town of Maynard), the Assabet River National Wildlife Refuge (formerly the Fort Devens Annex, transferred to the U.S. Fish and Wildlife Service in 2005.) Other parcels include the Marlborough “desert” and some privately owned conservation land. The Wildlife Refuge has 10 miles of trails in 3.5 square miles and is open to the public for wildlife observation, hunting and fishing, biking and hiking.

Several significant wetland areas acquired by the Town as water supplies are also open space assets. At the lower reaches of Fort Meadow Brook (which drains from Fort Meadow Reservoir north to the Assabet River), lies several of Hudson’s major wells (Kane, Chestnut #1, #2, and #3). These, along with the Cranberry Well in the southeast part of Town, adjacent to the abandoned Mass Central Railroad line, provide the Town’s principal ground water supply sources.



Danforth Falls

In the northwest section of Hudson, Danforth Brook, which begins in Bolton as Mill Brook, parallels Route 85 and flows into Town over Danforth Falls, through the Town-owned Danforth open space land, and into Bruce’s Pond. An old rail bed in the northern section of town follows the brook at Danforth Falls and comprises some of the most scenic areas in the valley. Hudson was successful in purchasing the actual land on which the Danforth Falls sits back in 2001 and the Town of Bolton is currently pursuing acquisition of land along the conservation areas northern border.

Conclusions

Hudson has protected open spaces that are both public and private. Unfortunately, the private lands are rapidly being consumed for development. We are concerned not only with the total acreage of open space land remaining available, but also with the equally important factors of its accessibility, location in town, and appropriate public uses.

B. History of the Community

Hudson is one of a number of older “mill towns” along the Assabet River that share a common set of historical circumstances that have given rise to their past and current patterns. The dams of Hudson, both upstream and downstream, have shaped the industrial villages that are the present-day cities and towns. These dams have considerably altered the character of the river and are now appear “natural”, in the sense that few of us can envision the river without them. Our present uses of the river are based on these dams.



View from Bellevue – looking N.E.

Present day Hudson was established on land that was earlier claimed by surrounding Towns. By the time of the Civil War, the section of Marlborough called Feltonville (named after the wealthiest and most popular merchant) "...was at least three miles from the center of Marlborough. It [had] stores, schools, churches, a post office, an insurance company, and a newspaper. The citizens desired to separate... and do business their own way."¹ Land was later acquired from Bolton, Berlin and Stow to form Hudson as we now know it.

As with all the towns in the region, the very earliest settlers of Hudson were farmers. A gristmill and sawmill were developed in 1698 at (what is now) the crossing of Washington Street and the Assabet. By the early 1800's, much of the housing was centered in and around the downtown, originally housing mill workers and managers. In 1894, a fire destroyed much of downtown, and the area was rebuilt over the following two years. Hudson's downtown is still graced with the many historic buildings that were constructed at that time. In 1988, the Hudson Town Meeting unanimously designated areas of the downtown as the Silas Felton Historic District. In November 2007, the district was expanded to include other relevant historic buildings not included in the earlier version.



View from Bellevue – looking N.W.

Hudson has always had an industrial component, even before incorporation in 1866. By the early 1800's, Feltonville was comprised of a cotton mill, a fulling mill, several tanneries and a distillery. "The industry increased steadily, and by 1860 there were 17 factories employing 975 men..."² Because of this industrial development, early Hudson enjoyed good access both by road and rail. Hudson was at the crossing of two rail lines, one from Marlborough to Concord (the Marlborough branch of the Fitchburg Railroad), and the Massachusetts Central Railroad (later the Boston-Maine Railroad) operating from Boston through Hudson and proceeding to the Town of Northampton in western Massachusetts. Considerable seasonal residential development, e.g., at Lake Boon, was stimulated by train access. Passenger service on these lines ceased in the 1960's and freight transport finally ended in the 1970's and the rail lines were abandoned.

As mentioned above, the Marlborough and Hudson sections of the Assabet River Rail Trail were opened in the fall of 2005. Subsequent sections are currently being developed through Stow, Maynard, and Acton. The trail will eventually terminate at the South Acton MBTA station. This multi-use path also intersects with the Mass Central Railroad Line, now in discussions for conversion as a possible future trail known as the Wayside Trail. If developed, this trail could span more than a 25 mile distance beginning in Waltham and passing through Belmont, Weston, Wayland, Sudbury, Hudson and Berlin. These two trail links will someday form a major connection between otherwise land-locked open space parcels.

¹ Barbara Belseth et al. Hudson Heritage. College Press, South Lancaster (1966), p 35.

² Ibid, p.50



Assabet River Rail Trail

With the development of Interstate 495 (a north south link) and Interstate 290 (carrying traffic west to Worcester, with an interchange on I-495), Hudson has seen a dramatic increase on two segments of roads that intersect in the center of town (see Regional MAP 1). These roads are Route 62 (east to west) and Route 85 (north to south). Both routes have direct access to I-495 with Route 85 also having a direct extension to I-290. Route 85 has contributed to significant commercial and industrial development in the southeast portion of town. This growth was initially concentrated on Roundtop Hill, as the home of Digital Equipment Corporation, and was substantially expanded in the subsequent years as Intel Corporation acquired the site. Since the Digital days, development has been steadily spreading to other areas nearby, now offering numerous office buildings and retail shopping destinations. Several small strip malls have been expanded as well as new commercial business development on Washington Street (Route 85), heading north into the center of town just south of the Historic downtown. With the Washington Street (Route 85) widening and reconstruction project currently nearing completion, there will be more opportunities for commercial business expansion along that corridor due to the improved traffic flow. In that same area there are two “over 55” residential developments comprised of 300 +/- units off of Technology Drive (Quail Run and Westridge). Currently, permitted is Cabot Ridge, a 176 unit 40B apartment complex on Cabot Road, and Broadview Heights, a smaller 33 unit condo development now under construction on Broad Street.

The other significant industrial development in Hudson lies in the eastern part of town along both sides of Lower Main Street. From the area just east of the Fort Meadow Brook crossing at Lower Main Street, manufacturing facilities, along with small industrial parks (Kane Industrial Drive, Brent Drive) and additional industries along Parmenter Road were developed. In April of 2000, the Charter Oak Country Club, an exclusive private golf course, was developed in this same area.

Conclusions

Early industrial and residential development has concentrated the Town’s population in the west part of town with less open space land located therein. Consequently, the Town needs to focus on acquiring some remaining parcels in order to provide open space and recreation closer to the densest population areas. In the eastern end lies our major industrial area which has seen some residential development. Further efforts must be made to better connect open space from the densely populated

western section to less populated eastern end. The forthcoming Mass Central Rail Trail will benefit that connection, giving residents the alternate means to connect the two.

Additionally, as growth continues in Hudson developers must be encouraged to utilize the OSRD and Adaptive Reuse zoning tools adopted at Town Meeting, by-laws which assist the Town in protecting as much open space and historic landscapes as possible.



Mass Central Rail Line Trestle Bridge

C. Population Characteristics

Hudson’s population growth has paralleled that of other suburban Middlesex County towns. It is characteristic of the urban-suburban towns typical in eastern Massachusetts as well as some of the more rural aspects. Hudson’s population density in 1990 was 495 people per square mile, increasing significantly in 2000 to 1575 people per square mile and is now double the state average of 839 people per square mile according to the 2010 Federal Census. This increase from 2000 to 2010 is approximately 80 people per square mile. Neighboring towns vary widely in population density and consequently the “openness” varies in each community.

Population Density

Chart 2 - Population Density - 2010 Federal Census

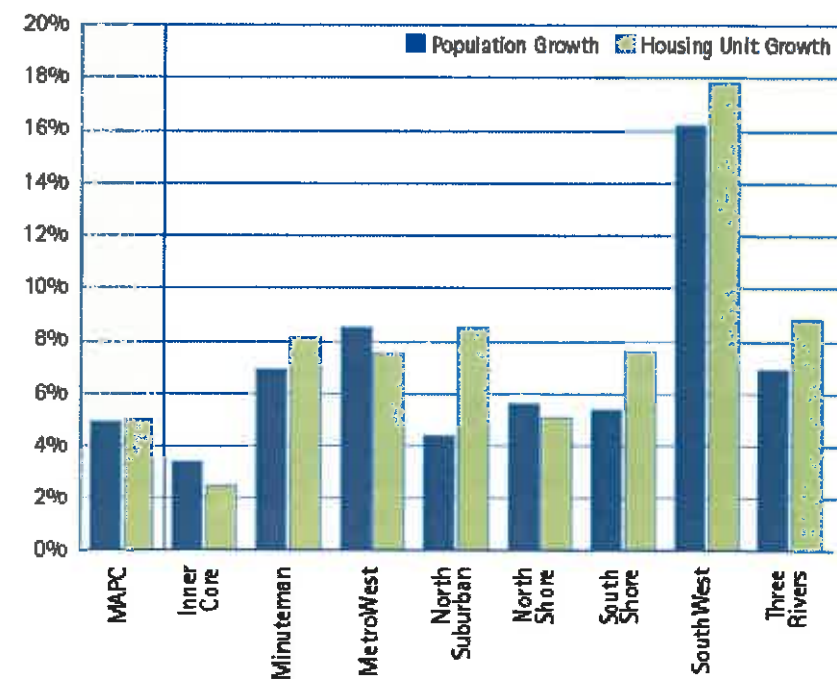
Cities and Towns	Number of People Per Square Mile	Square Miles	Population
Sudbury	717	24.63	17,659
Marlboro	1737	22.17	38,499
Bolton	245	20.00	4,897
Stow	364	18.09	6,590
Hudson	1610	11.84	19,063

Although Hudson has the smallest landmass, it has one of the highest populations per square mile. Located in MAPC’s Minuteman Subregion, which is gaining in density at a faster pace than other subregions, and part of the rapidly developing I495 Corridor, Hudson’s population is likely to continue to grow.

Hudson experienced its most significant increase in population between 1960 and 1986. In 1960, the population was 9,666 and increased to 17,523 in 1986. In 1998, the population decreased to 17,270, largely due a reduction in the average number of people per household (down to 2.5). More recent data from the 2000 census indicated the population increased to 18,113, an increase of 5.1% from 1998 and now in the 2010 census a 5.25% increase to 19,063. This growth increase is similar to other cities and towns in close proximity to the I-495 corridor and its expanding job opportunities.

In addition to population growth, another important factor for open space planning is the development of housing. Growth in housing stock parallels population growth and makes major consumptive impacts on the land. Housing in Hudson for the earlier decades was concentrated near the center of Town and scattered elsewhere. A surge of housing development in the 1960’s, when the population doubled, took the form of tract development comprised of modest homes on small lots, mostly owner occupied. Larger rental developments were constructed in town during the 1980’s, and over the past decade new single family homes were built on larger lots and are more expensive than those constructed in the past.

Chart 3 - Population and Housing Growth



**Note: Hudson is in the Minuteman Subregion.*

The housing market in the region has tried to keep pace in providing places to live for the many new workers attracted by business development in the I-495 Technology Corridor area. Housing unit growth actually exceeded population growth in the Minuteman Subregion, generally indicating a decrease in household size. Hudson has seen a combined percentage growth rate for housing units of 7.2%, while the population grew at only 5.1%, suggesting adequate housing to meet the current population numbers, but not necessarily the income levels of its residents. Hudson continues to research housing stock information for seniors and residents with disabilities and affordable housing for low and moderate income levels. Senior housing was addressed by the passage of an over 55 overlay district. While there are 3 over-55 housing complexes in town, there is no assisted living or nursing home facilities within the community to accommodate older residents that can no longer live independently. Hudson’s affordable housing stock fell below the 10% minimum required by the state with the 2010 census figures, but a new subsidized housing project, the Cabot Ridge apartments, puts the town back over the minimum number of affordable housing units.

Table 3-3 Household Changes by Type

	2000	2010	% change 2000-2010
Total Households	6,990	7,528	8%
Family Households	4,845	5,131	6%
Married couple family	3,965	4,070	3%
Households with <18	2,237	2,445	9%
Households with individuals over 64	1,653	2,021	22%
Non-family households	2,145	2,397	12%
One-person households	1,761	1,946	11%
Age 65+	663	777	17%

Information from the Master Plan indicates a rise in the percentage of individuals over the age of 65 by 39% from 2000 to 2010, which supports data from the Metro West Health Data Book and Atlas that stated a rise in individuals over the age of 65 by 49.4% by the year 2020.

The passage of the Community Preservation Act in 2007 serves as a valuable tool to assist with the creation of low to moderate income housing, when combined with the state’s matching funds. The acceptance of a Municipal Affordable Housing Trust Fund (under MGL Chapter 44, Sec55c) by Town Meeting in of May of 2006 with subsequent establishment of the actual Trust and Declaration in July of 2010 will also provide for the creation and preservation of affordable housing. Hudson supported a Habitat for Humanity House and transferred \$512,188.10 from Community Preservation to the Municipal Affordable Housing Trust fund over the past five years. In addition, the adoption of three significant bylaws - the Accessory Dwelling Unit Bylaw, Open Space Residential Development Bylaw and Adaptive Re-Use Overlay District Bylaw- helped to create opportunities for more low and moderate income housing.

Employment Trends

The total number of private employment establishments in Hudson has continued to increase over the past seventeen years from 495 in 1997 to 546 in 2007 and 592 in 2012. Manufacturing is still the number one business in Hudson with wholesale/retail trade second and business/professionals third. Service oriented businesses, such as retail stores, food and drink establishments, repair and maintenance, personal services, and health and social assistance, offer residents the opportunity to buy goods and services within the community, while providing economic opportunities for their proprietors. Business within town fluctuated between 10,707 individuals employed in 2001 to 9,684 in 2010, a difference of 1,023. But the 10 year change from 2000 to 2010 was only 37 people. Business appears to be somewhat stable in Hudson. Metro Boston Data Common information from May 2014 indicates the unemployment rate in Hudson is 4.4% which was lower that the state average in of 5.2%.

MAPC data identifies that only 26.1% of Hudson residents worked in Hudson in 2000, a decrease from 1990. Residents also participate in a regional labor market commuting to jobs, while many workers commute to Hudson from Marlborough, Framingham and other towns in the region.

Family Income



Brett Factory on Assabet River

The chart below states Hudson’s per capital income, median family income and median household income are all higher than the state average, but lower than that of Middlesex County as a whole.

Chart 4 – Income and Poverty

	2000			2010		
	Hudson	Middlesex County	State	Hudson	Middlesex County	State
Median HH Income	58,549	60,821	50,502	74,983	77,377	64,509
Median Family Income	70,145	74,194	61,664	90,719	97,382	81,165
Per Capita Income	26,679	31,199	25,952	34,516	40,139	33,966
% Population in Poverty	4.5%	6.5%	9.3%	7.1%	7.6%	10.5%

Source: 2006 - 2010 American Community Survey 5-Year Estimates

The majority of Hudson’s low to moderate income families live in or around the downtown area. These are older homes that have been converted to two and three family apartments. Once a mill town, Hudson’s largest factory buildings are located near or in the center of town with the potential for conversion into multi-use, with housing, commercial and retail space. This could mean a larger population in this area.

Conclusions

The distribution of open space and recreation opportunities are inadequate in the largest population areas surrounding the downtown area. With the Assabet River running through that section of town we must continue to open up views along its shores and seek available land for recreation areas and renovate existing parks to meet the increasing demand. Expanding walking trails along the river as well as increasing access to the river for canoeing and fishing should be considered.



Wood Square, Downtown Hudson

D. Growth and Development Patterns

Growth is a function of several factors, including population size, amount of available land, perceived “attractiveness” of a town and its accessibility. Growth in our surrounding towns has changed open space along our borders, with large housing and rental developments in the neighboring town of Marlboro. Some corridors of greenspace have disappeared. Water power from the Assabet River and Tannery Brook provided Hudson with an economic opportunity like many other communities. There are still several mill buildings surrounding the downtown and much of Hudson’s housing is clustered around the downtown and its mills, which originally housed mill workers and managers. Hudson’s downtown still possesses a quaint historic feel with Victorian houses and brick buildings from the late 1800’s. Hudson is also at the crossing of two rail lines that contributed to its success as an industrial center.



Mills along Assabet River

Patterns and Trends

In the 1960's, Interstate 495 had a major impact on the location and type of development in Hudson. That trend continued with the development of the Argeo Cellucci connector to I-290. These two major highways provide easy access to Worcester and, indirectly, to Boston, influencing the development of large residential tracts, shopping plazas and significant corporate development.

The residential developments built between 1960 and 1990 were comprised of mostly moderate ranch and Cape type homes. Since that time the housing stock has changed to more expensive single family larger homes on larger lots of land. With an increasingly diverse population there is a need to create more affordable housing and transit options for a wide range of household types.

Conclusions

Single family homes on ½ acre lots or more, will eventually deplete land in Hudson and will not adequately meet projected population trends. The changes in zoning approved by Hudson residents will help steer development away from depleting land and give developers the opportunity to build on smaller lots leaving more open space, as well as allowing older residents to build “in-law” type structures onto their homes. Hudson recognizes the importance of a diverse population to the success of our town. The fact that there is a mismatch between employment and housing opportunities needs to be addressed, so that people can live in the area where they work. Housing needs for individuals in the moderate to low income population need to be continually addressed. Open Space Residential Development zoning should be strongly urged to developers, as well as friendly 40B projects.

Infrastructure

a) Transportation:

Hudson has little in the way of public transit services to meet the needs of the community. The closest commuter rail station is the Southborough Station approximately 9 miles from Hudson center. However, there is a modest Park and Ride lot at the intersection of Rte 62 and I-495 which is full during most work days.

Data from the Community Development Plan regarding workplace locations in 2004 indicated that 42.2% of Hudson residents are employed in Hudson and Marlborough. The chart below indicates a

3.2% a drop within those two communities using 2010 Census data. Residents from these communities travel to and from Hudson along the Route 85 corridor considered one of the most congested in the MAPC region, contributing to the decrease.

Chart 5 – Journey to Work Data

Hudson Residents		Hudson Workers	
Location of Employment	Percent of Residents	Location of Residence	Percent of Workers
Hudson	23%	Hudson	26%
Marlborough	14%	Marlborough	10%
Framingham	6%	Worcester	8%
Sudbury	4%	Leominster	3%
Westborough	4%	Northborough	2%
Worcester	4%	Shrewsbury	2%
Boston	3%	Lowell	2%
Southborough	2%	Framingham	2%
Cambridge	2%	Clinton	2%
Other	38%	Other	43%

Source: U.S. Census Bureau 2006-2010 American Community Survey
Data based on sample and subject to variability.

The Assabet River Rail Trail completed in both Hudson and Marlborough should be strongly encouraged as an alternate means of transportation for these two communities.

Additionally, the widening and reconstruction of Route 85 from the Marlborough line to the Downtown area (Washington Street) considered the “commercial corridor” now includes signalized intersections, turning lanes and a roundabout is nearing completion. MassDOT’s traffic volume data indicated that the average traffic volume in 2009 was 24,000 vehicles per day. This major transportation corridor in Hudson has been significantly improved which will move those vehicles at a much more fluid pace. The expansion of the Washington Street Bridge was also cited as a priority transportation project that is currently under design.



Assabet River Rail Trail

In addition to the ARRT, there are plans in development for the Mass Central Rail Trail (MCRT) – Wayside Branch that runs east to west through Hudson and is proposed to connect Waltham to our east and Berlin to our west. This rails-to-trails proposal heading west out of Hudson runs parallel to our second most traveled road, Route 62. It would also serve as a valuable link to the rural farmland in the eastern section of Hudson. These alternative transportation routes not only relieve traffic congestion, but help with the health of a community, removing vehicles from the road while promoting walking and biking. The completion of the MCRT is highlighted as a priority in the 2012 SCORP.



Mass. Central Rail Line

b) Public or private water supply systems:

Hudson relies solely on its own water supplies for all drinking water and is not part of any larger water district, such as the Wachusett or Quabbin Reservoirs. Protection of land surrounding our rivers, streams and ponds has been a goal of this Open Space Study dating back to 1976, since the development activities upstream of these water resources were the source of much of the pollution. Two major factors, the implementation of phosphate reduction in 1995 and the upgrade of Hudson’s Waste Water Treatment facility, significantly contributed to the reduction of pollutants in the Assabet River. Intel Corporation of Massachusetts paid for the upgrading of an intersection where storm water runoff was a problem. It also installed an infiltration system under a parking area and recreation field to create a recharge system for runoff back to the adjacent Assabet River.

Hudson is also a member of the Assabet River Consortium. Formed in 2001 and consisting of six towns, the consortium leverages resources on a regional level to improve how municipalities do two tasks: 1) deal with sanitary sewage and 2) maintain and increase base flows in the river and its tributaries. Additionally, the Organization for the Assabet River (OARS) has been monitoring streams in Hudson for several years through the “Stream Flow Program”. This information is important to the health of streams and gives residents information on fishing in various locations along the river. In addition, Hudson is actively investigating new well locations throughout the Town as well as taking part in many feasibility studies and workshops on removing dams on major rivers and the benefits to the overall health of the river.

In spring 2014, Hudson (as lead community) along with the Towns of Maynard, Stow, Sudbury, Wayland and the City of Marlborough, all contiguous members of the SuAsCo watershed, won a Sustainable Water Management Initiative (SWMI) grant from MassDEP. Designed by the Executive Office of Energy and Environmental Affairs, the SWMI framework updates the implementation of the Water Management Act (WMA), the primary statute governing large water withdrawals in the Commonwealth. The overall goal of SWMI is to protect the environment while allowing economic growth and sustainable long-term water use. SWMI aims to better balance human and environmental needs through permits that: 1) use streamflow criteria based on science; 2) have up-front rules and conditions; 3) conserve water; 4) minimize the impact of water

withdrawals on surface waters (particularly streams and rivers); and 5) mitigate water withdrawals commensurate with their impact.

The purpose of the grant was to apply a watershed-based approach to help public water suppliers in the SuAsCo watershed understand and begin preparing for their future WMA permits. Permittees will be required to do substantially more analysis for permit applications and renewals than in the past. They will need to look at their community in the context of the watersheds that they share with neighboring communities, both upstream and downstream. They will also need to look at water withdrawals in the context of other dynamics of the water balance, such as wastewater discharges and stormwater recharge, which provide opportunities to mitigate the negative impact of withdrawals. This integrated approach to water supply planning also includes improving water use efficiency, reducing impacts on sensitive resources, and even restoring habitat—issues which most water suppliers have not had to consider in the context of past water withdrawal permits.

Conclusion

Hudson’s water bodies serve many different purposes: from drinking water to recreation swimming, boating and fishing. The protection and acquisition of lands along our rivers, ponds, streams and aquifers are priorities for improving water quality, opening up scenic views, protecting wildlife habitat areas and enhancing recreational opportunities. The Town should continue to work with OARS and other organizations on improvements to the Assabet, while locally scheduling maintenance programs for its tributaries such as Danforth Brook, Hog Brook and Fort Meadow Brook. Removing debris to improve flow is essential to create a healthy environment for fish to breed and live. Dredging may be necessary to curtail eutrophication and improve a particular pond’s viability as a recreation area. The Town should also continue the watershed-based approach to water supply planning.



Assabet River

c) Sewer Service:

Hudson’s most densely populated areas are part of the municipal sewer system. Growth in Hudson is significantly limited due to sewer connection issues. A moratorium was in place for a period of time, while the Town carefully evaluated the capacity of our waste water treatment facility. The Comprehensive Waste Water Management Plan (CWMP - a half million dollar study completed in 2004) identified areas needing expansion and recommended upgrading our waste water management facility on Cox Street. Policies in place allow for expansion within specified existing sewer areas only.

Over the years, the Town has taken many steps to upgrade our water facilities and services. The May 2005 Town Meeting approved funding for the upgrade of our waste water treatment facility, located adjacent to the Department of Public Works in the eastern end of town. Areas identified for future sewer expansion in Hudson were approved at the May 2008 Town Meeting. The design and construction of a municipal sewer system in the Rolling Lane area and Woodrow Street area is now

complete. The Rolling Lane area is especially important due to its location along the shore of the Assabet River. The densely populated Lake Boon, and lower Main Street, Hudson’s largest industrial area, still rely on septic systems, but are identified in the CWMP for completion by 2025.

At the May 2013 Town Meeting, funding was approved for filtration modifications to the Kane Well and a connection from the Cranberry Well that filtration system. Funding to renovate the Murphy Water Tank was approved at the November 2013 Town Meeting. These modifications and renovations are now complete.

Long-term Development Patterns

The build-out analysis performed in 2013 as part of the Master Plan identified 3,036 new residential units and 35,728,851 SF of new commercial/industrial footage. This is up from 2001, when MAPC identified 1,606 additional residential units, 27,915,134 SF of land area, and 11,081,182 SF of building area as the “worst case” scenario for commercial/industrial development.

The following information was identified in the in the Land Use chapter of Hudson’s 2014 Master Plan:

Chart 6 – Future Build-out of Hudson

	New Residential Units	New Commercial/Industrial Square footage
Residential Build-out	1,497	n/a
Commercial/Industrial	n/a	33,364,630
Adaptive Reuse Overlay District	236	1,701,062
Downtown	1,303	663,159
Total	3,036	35,728,851

The build-out analysis utilized the following constraints to development: Existing Conservation Land or Town-owned Owned Property, MassDEP Wetlands, Very Poorly Drained Soils, and Existing Development (derived from impervious surface data and building footprints). If a parcel was partially located within the Watershed Protection District, the build-out analysis used the MLS that was more restrictive. The 2001 analysis was a theoretical exercise that did subtract wetlands from the calculations, but did not represent use of underutilized existing commercial/industrial buildings as housing units. The 2013 build-out also looked specifically at the Downtown Commercial C1 district allowing for mixed-use development in the future. The 2013 build-out analysis also took into account the passing of three smart growth by-laws that were adopted by Town Meeting in May of 2007: Open Space Residential Development, Adaptive Reuse Overlay District and Accessory Building Unit by-law. The implementation of these by-laws will allow for additional open space to be preserved and protected. Hudson’s Zoning **MAP 2** does not adequately identify the build out data.

The chart below from Hudson’s Community Development Plan identifies Hudson’s limitations of projected growth prior to the 2010 population date information:

Chart 7 – Constraints to Growth in Hudson

System or Resource	Existing Use Levels	Maximum Growth	Growth-related Issues
Land	-Current pop. 18,113 - 7,168 housing units -86,185,586 SF of Commercial/Indus land area	-Add. Res. Lots at build-out, 1,606 -Add. Comm./indus. – 27,915,134 SF of total land area and 11,081,182 SF of total bldg. area	-Recent Comprehensive Permits will increase units as developments can be denser than allowed under zoning - Much of additional residential growth on land in current agricultural use -Overlay district for senior housing changing demographics
Public Water Supply	-Average daily water use is 2.59 MGD in 2000,2.74 MGD in 2001 -Average use is 134 GPD for each resident – est. at actual 70 GPCD -650,000 GD committed to Intel, actual use is 690,000 GD in 2002 and 2003 -Av. Comm./Indus use of 775 GAD	-Present restriction to 2.90 MGD (will increased to 2.95 MGD after 8/31/06) -Water system has available capacity of 4.975 MGD wells and Gates Pond	-Estimated that Hudson has adequate cap to meet av. day demand in 2025, but peaks and sources offline will cause shortages -Intel uses @ 22% of Hudson water supply; is permitted for on-site well for ultra-pure water (@ 250,000 GPD of treated water) for chip manufacture
Watersheds	- All discharge from the waste treatment plant goes to the Assabet River		- Additional well withdrawal removes additional resources from watershed
Wastewater Treatment and Disposal	-Est. use at 65 GPCD -Intel flow av. 270,000 GPD -II est. at 630,000 GPD and 1.22 MGD at spring run-off	-Sewers serve 60% of Hudson’s area and 4,305 customers -NPDES permitted capacity 3.0 MGD - Intel permitted for 600,000 GPD - Permitted at 2.65, can go to 3 if exceed permit for 2 mos. between May and October	-51 miles of sewer, 14 pump stations -2003 BOS rescinded prohibition on additional connections - further sewer extensions are allowed in designated “Sewer Area and allow infill connections - Permit with DEP up for renewal, must treat phosphorous to .1
Public Schools	3 elementary, a middle school and a high school,	Max. capacity exceeded for 2 elementary schools	

Two significant projects that were in permitting before the Town passed the above mentioned Smart Growth by-laws are the Highland Commons retail development and the Brigham Hill 3 subdivision. The economic downturn had an impact on those projects, but they are now continuing their construction, after receiving extensions from the Planning Board. Highland Commons is a 27 acre commercial project on the outskirts of Hudson. Built on a drumlin clear cut to accommodate the parameters of the project, it will accommodate 400,000 square feet of retail and restaurant space, plus infrastructure. We have already seen negative impacts to the surrounding resources relative to the development of this land, with runoff into a major stream and pond (Hog Brook and Tripp's Pond). Brigham Hill 3 is a 36 lot conventional subdivision with 1 acre zoning. The area was forested, had several uncertified vernal pools and the developer has cleared all of the trees to make way for his infrastructure.



Assabet River

Conclusion

The adoption of three zoning by-laws in May of 2007 was extremely important to limiting growth and limiting the ecological impacts of development by utilizing existing structures for new housing as well as non-conventional subdivisions that protect our open space. Open Space residential Development (OSRD), Accessory Dwelling Units, and Adaptive Reuse are steps that will control new development in a measured way. The policies put into place by the Hudson Board of Selectmen identifying areas for future sewer expansion should be adhered to, while Hudson's Community Development Plan - Principals for Smart Growth, encouraging development only where infrastructure is available, should be implemented. All of these guidelines will help to protect sensitive areas, open lands and water resources into the future.

IV. ENVIRONMENTAL INVENTORY AND ANALYSIS

A. Geology, Soils and Topography

Geology

Hudson’s bedrock geology, like that of the surrounding region, is both complex and mostly hidden by overlaying glacial debris. Prior to the last glaciations, a “bedrock surface” existed that is thought to be somewhat different from the topographic surface we see today, particularly affecting drainage patterns.



Hudson lies primarily on what is called the Nashoba Formation. This metamorphic complex of rocks trends in a northeast-southwest direction. The Nashoba Formation is comprised of rocks and minerals, some of the more common of which carry names familiar to most people. These include mica, quartz and granite. The most important aspects of this formation include a lack of sufficient quantities of economically useful minerals to warrant mining, and a tendency of these rocks to be durable and resistant, eroding only over long periods

of time. This was the case with the onset and retreat of the glacier such that the low valleys became filled with glacial sediment virtually to the tops of the pre-glacial hills. Therefore, bedrock outcrops do not dominate in Hudson.

Evidence indicates that a pre-glacial valley existed from the area of Gleasondale, trending southeast under what is now Lake Boon, White Pond and connecting to the Sudbury Valley. Another buried valley lies under what is now Fort Meadow Brook. The Fort Meadow Brook flows north from the Fort Meadow reservoir to its confluence with the Assabet River, near Gleasondale, on the Hudson-Stow line. These buried valleys are now the location of significant water resources.

The glacier certainly has been the major landscape modifier in Hudson. Although there is considerable scientific debate about how much the glacier “tore down the hills,” there is little question it “filled up the valleys” with significant deposits of sands, gravel and other permeable and porous materials. These “buried valleys” make excellent aquifers, or water resource areas. These are the primary sources for high-capacity public wells. In many of these areas, the valleys are sufficiently saturated with water that is expressed on the surface in swamps and marshes and occasionally as ponds and lakes.

The Town successfully sought funding at the November 2004 Special Town Meeting (Article 4 - \$144,000) to continue Phase II and III of the Bedrock Water Exploration Program to identify

location(s) for future wells to be used for a public water supply. In 2010, the Town also tapped into Hudson’s aquifer resource with the opening of our renovated historic Senior Center, a project that included two 500’ geothermal wells used to heat/cool the 14,000 SF building.

Other glacial impacts are also important to Hudson. There are a variety of other surface deposits scattered around and the most prominent are the drumlins, elongated hills trending in a north-south direction, made up of tightly packed and unsorted glacial materials together. These account for the major viewpoints in the area but are poor places for development, since the tight soils do not readily yield much water to shallow wells or accept sewage effluent. Many of the prominent hills in Hudson, excluding Gospel Hill and Roundtop Hill, are drumlins.



Taylor Memorial Bridge

On the flatter areas, for example around Lake Boon, outwash plains result where the melting water from the glacier sorted and deposited layered sand and gravels in a horizontal manner. The flat topography in the center of Town is a variation of the outwash plain, but there the deposition resulted from slightly different glacial conditions.

The area east of Manning Street, including the broad stretch of Round Top Hill, Gospel Hill, Whitney Hill, and much of the old Goodale property, is covered with “ground moraine”. This is a thin veneer of glacial debris overlying bedrock. It is generally of poorer development potential since not only is it shallow to bedrock but also presents development limitations, since it is unsorted till.

Conclusion

The geology has been very important to Hudson’s development as a community. It has conditioned where settlement originally occurred, where some of the resources are found, and where some of the opportunities and limitations are. The bedrock provides water but at a cost. It is generally deep, often in the range of 50 to 100 feet down (or more) and, in places, is sufficiently fractured to allow the collection of water in small quantities. Approximately 10% of the Town’s population obtain its water from onsite wells, many of which are bedrock or artesian.

Most of the landscape results from glacial activity. This is particularly true of the hills. These are not particularly suited for development without allowance for soil limitations. The steeper slopes need to be avoided since erosion is a serious problem on such slopes.

Soils

The soils of Hudson, like those in surrounding communities, reflect the broad geological activities noted previously and are based on the composition of the underlying bedrock and the glacially transported debris left by the last glaciation some 10,000 years ago.

MAP 3a shows the detailed soil classification as mapped by the National Resource Conservation Service (NRCS). Each soil has slightly different characteristics based on depth, ability to shed or accept precipitation (thereby influencing runoff or infiltration rates) and ability to pass moisture through the soils (important in septic-Title V situations).

One way to conceptualize the soils of the Town is to view the detailed classification by grouping associations of similar soils. In an earlier NRCS soil reclassification (**MAP 3b**), the four distinct soils types are: deep, sandy or gravelly, woodland/slow infiltration rates and prime agricultural. These are more realistically known as soil suitability. The following is the percentage of Hudson as charted by the NRCS:

Chart 8 – Soils

<u>Soil Classification</u>	<u>Percent of the Town</u>	<u>Soil Type Description</u>
1. Windsor-Hinckley-Deerfield	37%	Level to rolling, scattered throughout the Town, well drained, fluctuating water table, fewest limitations for development
2. Paxton-Woodbridge-Hollis	36%	Deep, well drained, developed on glacial soils and shallow bedrock areas, often a hardpan 2 – 3 inches below surface
3. Muck-Scarboro-Whitman	11%	Poorly drained, along the rivers and swamps, high water table
4. Canton-Hollis-Scituate	11%	Gently sloping to rolling hills, western part of town well drained, does not have impermeable layer within 4 - 5 inches of surface
5. Other (minor associations & water)	5%	Variable

Topography

Hudson lies in a region of hilly land, characteristic of the area between the lower elevation Boston Basin to the east and the broad north-south Worcester uplands to the west. Most of the wetland, occupying the lower elevations, are around 200 feet (Lake Boon 186 feet, Ft. Meadow Reservoir 262 feet, Bruce’s Pond 215 feet, Chapin Road Bridge 215 feet, Cox Street Bridge 200 feet) while a significant number of hills reach to over 400 feet (Potash Hill 451 feet, Phillips Hill 455 feet in the western end of town). As you go east in Hudson, the general hilltop elevations decline to approximately 300 feet or so. The local relief in Hudson is therefore around 200 to 250 feet.

Little land in town can be considered level and almost all land is in slope. This is classic “apple country” as noted earlier under “community character” and is a reflection of the topography. Hudson’s topography is illustrated in **MAP 4**.

Conclusions

The geology and the resulting topography yield hilltops with attractive and distant views that contribute a special character to the Town of Hudson. It is one of the important aspects of the physical environment of Hudson. The soils present various limitations for development as in the housing development in the northwest section of town that presented monumental problems for the residents when large rain storms caused those slopes to erode. Developers must be made to ensure that proper control measures are taken in those situations.



Assabet River

B. Landscape Characteristics

Hudson’s landscape character is shaped by the Assabet River, which crosses the center of the town from southwest to northeast. There are numerous drumlins, lowlands, streams, wetlands, ponds, and lakes in town. The hills provide excellent views, and the water features are a major wildlife and recreational resource.

Several important projects took place over the past twelve years to bring out the beauty and potential of the Assabet River:

- ❖ The Assabet River Rail Trail that skirts sections of the river
- ❖ The expansion and redevelopment of the South Street Park (renamed Cellucci Park) on the river in the center of Town
- ❖ A walkway along Tannery Brook from Main Street to South Street affording easier access
- ❖ Improvements to the Loureiro Property on the western shore of the river, now the site of Hudson’s Community Garden. Development of the garden area has fostered enthusiasm toward implementing the additional recommendations identified in a design concept.
- ❖ The purchase of Fossile Field adjacent to the Hudson Elks and Hudson High School for conservation and recreation purposes. This purchase protects that area of the river along with a 2 +/- acre pond on the property. In the past year, an athletic field was developed as an overflow practice field for Hudson High School sports.

These projects open up views to the river that have been blocked by overgrown vegetation and help to revitalize these riverfront areas.

The Organization of the Assabet River has made significant progress in their annual river clean up efforts to remove trash in various sections of the river and it is thought that opening up access to the shoreline will curtail the constant dumping of debris and trash in those areas.



Assabet River

The center of Hudson has always represented the industrial history of the Town, with historic retail and mill buildings all along the river. Hudson appears as a densely settled town with an active industrial history.

Coming in from the east, one views a wooded retreat along lower Main Street and the Sudbury State Forest. From there, an industrial district leads to the main concentration of agricultural properties on Gospel Hill that are still privately owned and operated farms. The views are spectacular in this particular section of Hudson and efforts to keep these properties viable are discussed in various sections of this plan. This area gives Hudson its link to a more pastoral past and that history should be preserved.

Conclusion

The landscape of Hudson presents opportunities to preserve and enhance the natural beauty of the community. The river and the adjacent hills are not only significant parts of the natural environment, but also important landscape features to the Town. Many of these sites are identified on the Historic Sites and Scenic Views Map (MAP 7). Efforts to preserve these features through acquisition, conservation restrictions, the purchasing of development rights and open space zoning must be implemented in going forward to ensure their natural beauty is not undermined.

C. Water Resources

Three tributaries of the Assabet River, Hog Brook, Danforth Brook and Fort Meadow Brook, form the major drainage of the town. The southeastern portion of Hudson is within the watershed for the Sudbury River. The Assabet River and its sub-basins join with the Sudbury River in Concord to form the Concord River. Included in this tributary system are a number of ponds that provide wildlife habitat, recreational opportunities, and flood control (see MAP 8 and MAP 10).

The Assabet River, with its headwaters in Westborough, travels 31 miles in a northeasterly direction through the center of Hudson towards the town of Stow to meet with the Concord and Sudbury Rivers. The Washington Street dam in the center of town allows the upstream section to become a gentle and meandering section, creating a wide floodplain, while downstream the river is restrained by concrete walls along the adjacent property before widening into floodplains below the Forest Avenue Bridge.

Beginning in Berlin, Hog Brook is joined by Fosgate Brook at Crystal Springs, travels easterly into Hudson and is dammed at Tripp’s Pond before entering the Assabet River. The brook, once highly polluted by failing septic systems in the Brown’s Corner area, has recently seen a dramatic increase in brook trout. Restocked by the Department of Fish and Wildlife, the brook flows into Tripp’s Pond, the former site of a vibrant swimming facility until the mid-1960s. Tripp’s Pond has been neglected and drastically underused as a recreation area for many years. The pond is has become heavily silted and suffers from the increasing growth of purple loosestrife and other invasive vegetation. A very strong neighborhood group has undertaken an enhancement project on the eastern shore, once known as the “beach side”. It now has various plantings, benches and flowering trees. In order for swimming or fishing to be continued in this pond, it is necessary to dredge the silt from the larger basin and maintain the silt retention area north of the main body of the pond, on an annual basis.



Larkin Dam

Danforth Brook flows southeasterly into Hudson from Bolton. It is a steady flowing stream that passes through a sixty acre parcel of conservation land located off of Lincoln Street, Route 85. This brook is also stocked with trout and has been a highly-regarded fishing area for many years. Another important feature of the brook is its “falls” located on the former Mayo Property, acquired by the Town in 2001. Danforth Brook enters another dammed pond, known as Bruce’s Pond, which is privately owned by Larkin Lumber Company and was once used to generate power for their mill. It is important to note

that in 2013, Larkin Lumber closed its doors after 130 years in business. The property is currently up for sale, but early reports seem as though the sale does not include the pond or dam. The dam is functionally obsolete and in substandard condition. Steps should be taken to limit the significant impact should the dam fail.

The stream continues from the Larkin property, passes under Main Street and becomes Tannery Brook running north to south bisecting a newly created park, ending its journey at the Assabet River. A grant from the Department of Housing and Community Development created a walkway along Tannery Brook. A grant from the Executive Office of Environmental Affairs, Division of Conservation Services assisted with purchasing a parcel along the river to expand an existing park, and another grant from DHCD renovated and developed the two parcels. Both grants made a significant difference to open up views of the brook and the river, while creating active recreation areas. This redevelopment has helped enormously in connecting our urban center with the river.



Tannery Brook Canal Walk

Fort Meadow Brook begins as the outfall of Fort Meadow Reservoir, former meadowlands created to provide additional water to the Assabet River during periods of low flow. The land below the reservoir was once owned by Digital Equipment Corporation and is now property of the Town of Hudson. This brook zigzags through gravelly land and fine marshes before entering the Assabet. Land adjacent to this brook was a former gravel operation and is now the location of three of the Town’s extremely important wells. Fort Meadow Reservoir is currently used as a swimming area by both the public at the Town Beach and by private landowners bordering the lake. It is a significant boating, fishing and skating resource for both Hudson and Marlborough.

The Organization of the Assabet River (OARS) recently instituted a Stream Watch program to monitor the health of many of these important tributaries. They take into consideration water flow, its effect on the river and ultimately the overall health for both fish and local drinking water sources. Charts have been placed near various streams as well as new signs. Along with monitoring the water, they also identify and measure aquatic plants in areas behind dams. The eutrophication that has taken place over many years, especially in dam impoundment areas, needs to be drastically reduced before the river can be fishable. In this area of the state, OARS along with the Army Corp of Engineers is investigating dam removal and will be holding workshops and community training sessions. Hudson should participate since there will be a significant impact with the potential removal of the Washington Street Dam.

Lake Boon, another former meadowland, is home to many summer cottages now converted to full time residences. This recreational jewel, located in both Hudson and Stow, has many private beaches and boat launches. Stow has a public beach in the northeastern corner of the lake, but



Lake Boon

Hudson has no public access, with the exception of some residents having beach rights written into their property deeds. Recreational activities include bathing, boating, fishing, skating and snowmobiling.

White Pond, located in both Hudson and Stow, formerly served as a part of the Town of Maynard’s water supply. This body of water is adjacent to two 100 acre parcels of land, one owned by the Department of Conservation and Recreation, and the second by the

Division of Fisheries and Wildlife. The Assabet River National Wildlife Refuge (ARNWR, also known as the Fort Devens Annex), was formerly owned by the Federal Government, housing munitions sheds and army personnel. With rights to the property changed in recent years, trails for walking and hiking are available to the public, with some restricted areas being posted in various locations.

Pickle’s Pond is located on land belonging to the Farley Elementary School. It is part of an unnamed drainage brook which enters Hudson from Bolton, runs through the Falls Brook Development to Plant Ave, there creating the pond, then ends in the Danforth Brook on Lincoln Street. Once surrounded by lights, it had previously provided the Town with an area for winter

skating and hockey games. Neglected in recent years, it abuts a conservation parcel and has significant potential for both active and passive recreation. The Town recently purchased another 9 acres northwest of the conservation parcel. This recent purchase included the actual waterfall of Danforth Brook, now totaling over 61 acres of densely wooded conservation property.

Surface water and marshes (**MAP 6**), flood boundaries and floodways indicate areas where soil conditions are prone to be seasonally wet or subject to possible flooding. Information contained in the updated FEMA maps indicates that the 100 year floodplain in Hudson includes 836 acres, where the 500 year floodplain represents approximately 329 additional acres. This is approximately 16% of the town. MAPC is developing a Regional Climate Change Adaptation Strategy, based on previous state efforts and federal practices to develop policies and implementation measure to be prepared for hazards such as intense storms (hurricanes, ice storms, etc.) which result in flooding, brownouts and water quality and quantity issues. Hudson will continue to participate in those planning sessions to receive recommendations on actions on the local level.

The Town of Hudson has adopted, under Protective Zoning by-laws, a Floodplain or Floodplain/Wetland District and a Watershed Protection District (**MAP 7**).



Taylor Memorial Bridge

The Town of Hudson obtains its drinking water from six active sources; five gravel packed wells and one surface reservoir. These sources are: Cranberry Well, Kane Well, Chestnut Wells #1, 2, 3 and Gates Pond. The three Chestnut Wells and the Kane Well are located within the same aquifer, which underlies the land between the Assabet River and Fort Meadow Brook. The Town has an approved Zone II from the Department of Environmental Protection for this aquifer and it also lies within the Watershed Protection District. The Cranberry Well, located off of Parmenter Road, also has an approved Zone II. This area has been included in the Town’s Watershed Protection District. Gates Pond, located in the Town

of Berlin, has been filtered under the requirements of the Federal Safe Drinking Water Act. Another source, the Rimkus Well, was used an emergency backup, but is closed due to high levels of iron and manganese. It is currently undergoing an evaluation to determine the feasibility of returning it to a reliable drinking water source and expanding its output. There is an interim well-head protection radius of ½ mile for the Zone II for this well also. For all wells, the Town owns or controls the Zone I’s (a radius of 400 feet around each source). **MAP 9** identifies Zone II Well Head Protection Areas.

In 2014, Articles 27 & 28 of the May Town meeting approved leasing locations for two ground-mounted solar fields. Article 28 approved siting on the Gates Pond Water Treatment Facility, a capped landfill owned by the Town of Hudson but located within the Town of Berlin. Article 27 approved siting on the Chestnut Well area. Due to the particular use of this municipal land, portions of these areas are already cleared of trees, thus no further clearing is necessary. And since nothing else can be built on the land due to the nature of the land itself, or the security and/or buffer zones

of the sites, these sites are the perfect locations for these solar arrays. These renewable energy facilities will augment the Town’s green energy portfolio.

D. Vegetation

The eastern end of Hudson is the location of a significant amount of wooded land encompassing the Sudbury State Forest, Assabet River Wildlife Refuge (ARNWR) Goodale Forest and White Pond, along with three municipally owned well site areas. Other privately owned parcels in this section of town also have rather large areas of forest land.

Hudson’s vegetation is common to other Central Massachusetts towns. Species include oak, ash, maple, birch and poplar. The Sudbury State Forest, Goodale Forest, White Pond and ARNWR have large sections of white and red pines planted as part of watershed management practices in the past, made evident by the symmetrical rows of plantings.

Agricultural Areas

It is clear that the vegetation of an area such as Hudson, settled for several hundred years, has been significantly modified not only by recent suburbanization but also by very early land uses such as agriculture and industry. During the late 1800’s, New England, and Massachusetts in particular reached its peak of land clearing for crops and dairy. Much of the land originally used for agriculture in the western and central sections of the town has been converted to residential use. This is due largely in part to the dry condition of the soil and the low costs for development.

Hudson’s largest remaining agricultural area is on Gospel Hill, consisting of approximately 200 acres of undeveloped land. Entering town from the east, Hudson’s rural character is enhanced by Gospel Hill’s panoramic view of stone walls lining the roadway, rolling hills and fields. This picturesque area should be protected through conservation restrictions or acquired by the Town. A smaller farm in the northwest section provides an active horse ranch with riding lessons and horse boarding capabilities and a children’s summer camp. On an additional farm on River Road (Curley’s) one can see cows grazing in the fields.



Gospel Hill

Wooded Areas

The current vegetation is clearly multi-generation growth with a few stands that reflect undisturbed growth for most of the 20th century. This growth, whatever its nature, does give important variety to the land. Despite the population densities in a community like Hudson (noted earlier under community character), there is still the dominant feeling of a “treed landscape”, particularly in the central and eastern end of town. Hudson is in the zone of forest vegetation between what is termed the “oak-hickory” and “transition”, mostly dominated by pine and deciduous softwood with a significant amount of oak.

Public Shade Trees

Hudson has a new Tree Warden - its newly hired DPW director - and staff with over 20 years of experience with tree care and maintenance. The Tree Warden follows the statutes in Massachusetts

General Law Chapter 87. The town has good interagency coordination and DPW works closely with both the Conservation Commission and the Recreation Department in the management of public trees.

The Conservation Commission has a new mitigation fund of \$4000 dedicated to the planting of trees in disturbed wetlands jurisdictional areas on Public Land and is working with the Tree Warden as well as with the Recreation Division in selecting locations that would most benefit from new trees.

In addition, the Conservation Commission and Parks Commission have a shared interest in more active forest management on Town Land and have begun discussions of initiating a forest stewardship program.

Wetlands

Wetland zones have remained constant throughout Hudson’s history. Species of flora situated in wetland areas include cedar, hemlock, white pine, red maple, and even cranberries and blueberries. In the early days, the wetlands were areas to avoid due to flooding and their limited potential for agriculture. Since these areas are less developed, they are now considered “available” land. The increased growth in the latter half of the 20th century utilized these areas for housing with adverse consequences. Many have recognized these problems and Massachusetts was the leader in passing legislation in an attempt to minimize these problems. Hudson has been vigilant through its Conservation Commission in reviewing projects proposed for such places. In many cases, moving the developments out of the wetland areas makes more sense for the developer, owner and the community. The Conservation Commission should adopt a local wetlands by-law to have more stringent controls over adverse development in or near these very sensitive areas.

E. Fisheries and Wildlife

Natural Heritage and Endangered Species Program – BioMap (2012)

The Massachusetts Division of Fisheries and Wildlife, Natural Heritage and Endangered Species Program (NHESP) produced BioMap 2 in 2012 identifying two components: Core Habitat and Critical Natural Landscapes. Core Habitats are key areas critical to promoting the long term existence of rare species, while Critical Natural Landscapes identifies large natural blocks that if protected will provide habitat, support ecological processes, and enhance ecological resilience to natural disturbances. Hudson is in the Southern New England Coastal Plains and Hills Ecoregion, and contains only a very small fringe of Wetland Core Habitat – 16 acres along its border with Bolton. Two rare amphibians of Conservation Concern are associated with this Core Habitat, Four-toed Salamanders (*Hemidactylium scutatum*, non-listed) and Marbled Salamanders (*Ambystoma opacum*, listed as Threatened). These can be found on the northwestern edge from Mill Pond on the Bolton line (along Route 85) down the Danforth Brook area (identified as Core 1981). There is also a large habitat for Blanding’s Turtles (*Emydoidea blandingii*, listed as Threatened) in a small portion of the northeast corner of Hudson, which is part of the Assabet Marshes and National Wildlife Refuge. There are no Critical Natural Landscapes in Hudson on the BioMap2 documents.

This information is crucial for the Conservation Commission in implementing regulations of the Wetlands Protection Act (310CMR 10.37 and 10.59) and to deter building too close to those core areas.

Vernal Pools

These natural resource areas that serve as wildlife habitat to amphibians and invertebrate animals, are identified by the NHESP and are contained on information that they have collected on all cities and town across the state. Hudson has approximately 57 potential pools, with only five certified by that state agency. The Conservation Commission should work with the NHESP to ensure protection of these areas. Vernal Pools typically fill with water during the fall and winter and remain filled until the spring, but dry out completely in late summer making it impossible for adult fish to survive. The lack of predation by fish makes them ideal areas for amphibians and invertebrates to breed.



Annual Fishing Derby at Tripp's Pond

The Massachusetts Division of Fisheries and Wildlife has traditionally stocked trout in Hog Brook, located off Route 62, which runs down behind a mobile home park and an older housing development, and into Tripp's Pond. The Hudson Recreation Department in conjunction with the Hudson Odd Fellows Lodge #54 sponsored a fishing derby at Tripp's from 1994 to 2001. The derby was not held for several years while repairs were completed on the spillway under River Street leading to the Assabet River. A study was done at that time to see the feasibility of dredging the pond, but funding has made that effort impossible. The Derby was revived and is currently sponsored by the Recreation Department and Hudson Odd Fellows organization. Annually the pond is stocked with trout for the derby which takes place on the second Saturday of April.



Tripp's Pond Walking Path

A walking path was partially installed around the pond in 1999 through funding from the Department of Environmental Management (now the Department of Conservation and Recreation), Division of Resource Conservation, Lakes and Ponds Grant Program. A very dedicated group of neighbors worked diligently to plant flowers, shrubs and trees and assist in replacing fencing and installing stonewalls, vastly improving the "beach" side of this recreation area (along Green Street). It is now necessary to continue the revitalization of this recreation area to include the dredging of the pond and installation of a walking bridge over the brook

area to complete the walkway, along with partnering with organizations to maintain the gardens

areas. This is a natural habitat for wildlife that will continue to be an area for enjoyment of the natural environment.

Fort Meadow Reservoir and Lake Boon are also natural resources, offering a variety of recreational opportunities such as fishing, sail and motor boating, and swimming. Pickle’s Pond, near the Danforth Conservation land, once the site of winter skating, is now a natural environment abutting the Farley Elementary School property. Bruce’s Pond is directly behind the newly renovated Senior Center and a great deal of work has been performed to enhance the views from that location, for our seniors to enjoy.

Wildlife in these areas is typical of that of any central Massachusetts town, with geese, ducks and great blue heron on the ponds, lakes and river. The Assabet River also has a pair of white swans that can be seen along the western section, perhaps a domestic pet of a landowner along the river bank. Beaver, fox, wild turkeys and the occasional deer can be seen roaming in residential areas much more frequently, since development has driven them out of their natural habitat areas.

Corridors for Wildlife Migration

Hudson’s wildlife corridors follow the Town’s water features, the Assabet River, its streams and wetlands systems that cross and re-cross the Town. The kinds of animals found in the wooded areas differ considerably from those that inhabit wetter areas. Hudson’s limited open space, although rather fragmented, does provide some support to common regional species. Deer and coyote have been observed, as well as fox, wild turkeys and the occasional moose. The goal of preserving continuous open space would open up more opportunities for wildlife habitat areas for these animals to roam.

In the 2000 Biodiversity Protection and Stewardship Plan for the SuAsCo Watershed, three biodiversity sites were listed for Hudson. The Assabet Marshes, the Assabet River National Wildlife Refuge and the Desert Natural Area are all located in the eastern end of Hudson. These three areas are only partially protected.

The Assabet River National Wildlife Refuge is made up of wetlands, upland and glacial outwash. In the northeast corner of town, these 2,230 acres are identified as protected habitat by the National Heritage and Endangered Species Program (NHESP) and provides a home to grassland and interior forest birds.

The Assabet Marshes, located primarily in the Towns of Sudbury and Stow, provide habitat for migrating waterfowl, swallows, sparrows, otter and beavers. Poor water quality from upriver has caused intense eutrophication in these 900 acres of marsh.

The Desert Natural Area (Sudbury State Forest/Memorial Forest/Hop Brook Marsh) in the southeast corner of Hudson is also considered protected habitat for endangered species by the NHESP and it is the only



Bruce’s Pond behind Senior Center

significant location of pitch pine/scrub oak in the SuAsCo Watershed. It also provides a corridor connection with the Assabet National Wildlife Refuge to the north and is home to important species including whip-poor-will and goshawks.

Also located in the eastern section of town are two parcels of Town owned land, the Chestnut Street and Kane Wells, comprising over 147.93 +/- acres of open space that have significant wildlife potential. Currently, the Chestnut Street property is home to the great blue heron and their nests (rookery) that can be seen off lower Main Street just beyond Gospel Hill.

In addition to the above mentioned parcels, the Division of Fisheries and Wildlife and the Department of Conservation and Recreation own a strip of property in the eastern section of Hudson near the Sudbury, Stow and Marlborough boundaries, part of the Assabet River National Wildlife Refuge. This area was the former location of an “ammo dump” owned by the federal government. There are some restrictions in certain areas of the property regarding public access, but most is available for walking, biking and cross country skiing and hunting and fishing. Also in the same general vicinity is White Pond, a 133 acre parcel that was the Town of Maynard’s water supply, but is now no longer used for that purpose.

Recreational Opportunities

With the Assabet River running through the center of Hudson, its shores offer many opportunities for fishing, bird watching, nature study and outdoor education, as well as canoeing or kayaking and walking along the shores. There are several boat ramps and access points along the River including Wood Park, Rimkus Well area, Chapin Road, and behind the Main Street Fire Station.

The small ponds, streams, trails, wetlands, forests and open space areas throughout the Town offer an abundance of plants and birdlife.

Hudson also has the Fort Meadow Reservoir and Lake Boon as additional natural resources, which offer a variety of recreational opportunities such as ice fishing, sail and motor boating, and swimming. Fishing is allowed in the Gates Pond Reservoir by special permit from the Department of Public Works.

The building boom has affected hunting in Hudson over the past ten years. There are limited hunting opportunities. Only three areas remain that afford safe hunting:

- ❖ Gates Pond, offering white tailed deer, ruffed grouse and cottontail rabbit. This area spans Berlina and Hudson, with access off Route 62, in Berlin, from the end of Taylor Road.
- ❖ The State Forest off of White Pond Road, offering white tailed deer and ruffed grouse.
- ❖ The Assabet River at Fort Meadow Brook (Kane’s Marsh), located off Chestnut Street and Lower Main Street is good for duck hunting. Ducks (mallard, black, wood, blue and green teal), Canadian geese and woodcock can be found.

Through grants and planning documents there has been a large focus on walkable communities and safe biking routes and



opportunities. Hudson is engaged in the Metrowest Moves, a Mass in Motion initiative that promotes active living, with more physical activity and attempts to provide more key walking and cycling zones for our residents. In addition, communities along the Assabet River Rail Trail are engaged in creating bicycle-pedestrian plans that are focused along the Assabet River.

In 2013, MAPC produced the Assabet River Rail Trail Communities Bicycle and Pedestrian Network Plan, encompassing the communities of Hudson, Marlborough, Maynard and Stow. This plan identified two potential areas for bike lanes, areas that had high mobility and adequate road width. As a result of this study, Hudson’s first two bike lanes were installed along Manning Street, providing safe access to/from the new Quinn Middle School. There are also plans to incorporate two more bike lanes along Packard Street. These lanes will provide access to/from Farley Elementary School, Pickle’s Pond and the Danforth conservation area.



Hudson’s first bike lane, along Manning Street

Hudson continued its Complete Streets goals by acting as lead community in Metrowest Moves’ Community Innovation Challenge Grant, funded through the Executive Office for Administration & Finance. This grant helped Hudson, Marlborough and Framingham better facilitate the planning and implementation of Complete Streets procedures. The product of this CIC grant created a ranking system that will enable the three communities to improve capital expenditure decision making by prioritizing roads that have the maximum utility for bike and pedestrian access. In January 2016, Hudson became a Complete Streets community, adopting a formal Complete Streets policy.

F. Scenic Resources and Unique Environments

Assabet River

The Assabet River, Hudson’s most valuable natural and scenic resource, enters town in the southwestern corner from Marlboro/Northborough/Berlin. A canoe trip from this western entrance meanders by many wooded areas, reed grass borders, public parks and private residences. The area called Four Bridges continues into a small whitewater rocky section (easily maneuvered through) and then passes by the Rimkus Well land, where four small bridges used to allow local farmers to pass over the river. Continuing downriver, passing the private Rolling Lane residences and arriving at the Chapin Road Bridge, one sees many natural areas for birds and wildlife along the riverbanks. After the bridge is a canoe access built by the State in 1994 with a small parking area. Riverside Park, Hudson High School, the O’Donnell Fields and the newly acquired Fossile Property are on the shores to the right (in a narrow flood plain), with the Lodge of Elks just beyond. This brings you to one of the most scenic bridges spanning the river in Hudson, the Taylor Memorial Bridge. This bridge connects several pieces of municipal property: Wood Park with Apsley Park, the Loureiro and Warner Conservation properties.

Wood Park has a music shell and is the site of a summer concert series. The river now leads into the center of Hudson where, in history, it served the textile industries located along its shores. Portage is required behind the Fire Station to avoid the Washington Street Dam & waterfall.



Wood Park Music Shell

From the waterfall, the river runs one street over, parallel to Main Street, along the municipal parking lot (renovated through funding from DHCD), then to Cellucci Park, an urban park that has been expanded and developed. A train trestle is visible just beyond the center, spanning the river near Houghton and Broad Streets, making this section one of the most scenic sections of the Assabet River Rail Trail. You then return to less populated areas of town, as the river winds down past Wheeler Road and Forest Avenue. The river then flows by the Cherry Street ball fields, crosses Main Street again adjacent to the ARRT, on towards Cox Street with the Department of Public Works building to the right where the sewage treatment plant discharges (not terribly scenic, but important). The next section of the river is very scenic from Cox Street to Gleasondale, in the area known as the Assabet Marshes, a biodiversity site. It passes through peaceful woods and wetlands in Hudson and Stow with no sign of man’s presence. It gives a real feeling of wilderness after leaving a very built up area.

This is an excellent educational experience to be taken in from a canoe or kayak, for individuals of all ages to view the unique environments that a river can offer.

Ponds and Streams



Danforth Brook

Hudson has many ponds and streams throughout the Town, offering various wetland areas and wooded habitats to hike and walk through.

Hog Brook and Tripp’s Pond offer fishing and scenic vistas from a major road, especially in the fall foliage months. Natural plantings and the walking trail created along the shores have made significant positive changes to an area that was in disrepair for many years. It is now used by many local residents as a peaceful retreat.

Danforth Brook runs through the Mayo Conservation Property, a 9 acre parcel that includes a waterfall and rock outcroppings. It then continues through the Danforth Conservation Lot, a 50 acre wooded parcel with trails throughout for hiking and mountain biking. “The Falls” is a great fishing spot that was acquired by the Town in 1999 through private donations and public funding. This 60 +/- acre parcel has become much more populated with walkers

and hikers over the past five years, due in large part to its natural beauty and a lack of other large open space area in town.

Fort Meadow Reservoir, located between Hudson and Marlboro, has municipally operated beaches in both communities. Marlboro and Hudson recently pooled their resources to acquire the St. Mark's Boat Ramp on Red Spring Road for residents of both communities to gain access for various watercrafts. Private non-profit beach properties include the Fort Meadow Association with three access points. Others are located on Paquin Drive, Western View Drive, Spring Lane, Cullinane Drive and Lakeshore Drive. It is also host to private non-profit buildings along the waterfront, operated by organizations such as the Moose Lodge and Inter-Colonial Club. A large section of the shoreline on the Marlboro side of the lake is owned by one landowner, with individuals leasing the land, but owning the buildings. Fort Meadow had numerous summer cottages that have been converted to full time residences over the past several years. The two smaller basins of Fort Meadow contain very little development along the shoreline. Both are beautiful natural habitat areas. The City of Marlboro acquired a large parcel of land on one of those basins on the Hudson Town line. It is an ideal location for canoe access, hiking trails and fishing.

Hudson and Stow share Lake Boon, which is in the eastern most section of Hudson. Stow has a municipally operated beachfront, but Hudson does not. This lake is not without problems as a recreational resource. The constant weed growth, now only serious in the third and fourth basins, is a great habitat for many birds, but causes problems for swimming and boating. Hudson does not have any publicly owned shorefront making access difficult.

Historic Features - Mass Historical Commission- State Register of Historical Places

- ❖ The Felton Street School, formerly a high school and now a private condominium
- ❖ The Goodale Homestead
- ❖ The Colonel Adelbert Mossman House
- ❖ Silas Felton Historic District

The Silas Felton Historic District is located in the center of Hudson and contains many brick and wooden structures built many years ago and restored as Hudson's downtown business area. Town Hall, the Unitarian Church, Hudson Public Library and most recently the Hudson Senior Center are a few of the most unique structures. This district stretches up Lincoln and Washington Streets where many old Victorian houses can be seen. Reconstruction of Main Street over the past decade submerged utilities underground and also created streetscapes with period lighting, flowering trees and brick-banded sidewalks, giving you a sense of Hudson in its earlier years. The Silas Felton Historic District is also listed in the Mass Historical Commission State Register.



Col. Mossman House, c.1895

Scenic Vistas

In addition to the Assabet River, all of Hudson's hill tops offer beautiful scenery but with limited access to the general public due to development of those hills.

Gospel Hill is one of the only places in Hudson that has not changed since the early years of working farms. This area offers a view of apple orchards, fields of flowers, old homes and barns that resemble the country sides in Vermont. Pompositicut Horse Farm, complete with training areas, still exists at the bottom of the hill, along



Gospel Hill

with a family farm stand across the street, which sells produce and plants grown on the property.

Roundtop Hill (now Intel and Westridge Condo Complex) provides views of many other hilltops. While looking down, you will see the buildings on Main Street, such as church steeples and the Town Hall. Fort Meadow Reservoir is to the south of this hill and portions of the most undeveloped sections can be seen from this hilltop.

In addition, Hudson has designated "Scenic Roads" that are listed as such because of their aesthetic beauty, lined with older trees and spectacular stonewalls. Approved by Town Meeting in 1976, these scenic roads include: Forest Ave (from Marlboro Street to Grove Street), Chestnut Street, Main Street (from Forest Avenue to Stow Town Line), Shay Road, Murphy Road, Central Street (from Coolidge Street to the Berlin Line), Park Street, Brigham Street, Brook Street, Hosmer Street, Parmenter Road, Stoneybrook Road (formerly Marlboro Road), Lewis Street and White Pond Road (MAP 10). The article reads "...to preserve the natural character and physical appearance of said road", and requests that the Planning Board, in exercising its responsibility, use sound planning considerations in the preservation of the natural resources without hindering public safety.

Past Planning Board efforts to keep these beautifully tree-lined vistas have been met with safety issues for site distances and road widths. On at least one occasion where they felt the need to allow the developer to cut some trees for electrical lines, they also mandated that the developer/electric company buy trees to be planted on other town property.

G. Environmental Challenges

Hazardous waste and brownfield sites

MassDEP identifies hazardous waste sites using a tiered system. Tier 1 sites are considered to be high priority, with Tier 1A assigned to the most serious environmental risks, and Tier 1D assigned to the lowest priority Tier 1 sites. Tier 2 sites are generally less serious contaminations. 136 hazardous waste release sites in Hudson are listed by MassDEP. The Tier 1 and Tier 2 sites, retrieved from <http://public.dep.state.ma.us/SearchableSites>, are listed below. Cleanup of the former Larkin Lumber site is in process.

Tier 1 and Tier 2 Hazardous Waste Sites in Hudson

RTN	Release Address	Site Name/ Location Aid	Compliance Status	Phase	Chemical Type
2-0016208	1 ZINA RD	ZINA FARM	TIER1D		
2-0018830	15 BROAD STREET	PROPERTY	TIER1D		Hazardous Material
2-0019345	136 MAIN STREET	FORMER LARKIN LUMBER	TIER 2	PHASE II	Hazardous Material

In 2011, The Town acquired a hazmat site located at 173 Washington Street, known locally as the Bonazzoli property. Acquisition of this property was necessary to help facilitate MassDOT's Route 85/Washington Street widening project, as MassDOT did not want to take the ROW and hence be liable for clean-up of the entire site. The Town won two grants from MassDevelopment – one for site assessment and one for site remediation. The Town demolished two dilapidated buildings, removed contaminated soils and added water additive injections into the groundwater. A detention basin has been installed to carry not only the runoff from the site, but from the roadway as well. Although the monitoring of the detection-wells is ongoing, the parcel was sold to McDonalds and is currently under development. This key parcel is directly on Route 85, Hudson's commercial corridor, and adjacent to the Assabet River Rail Trail. The cleaning up of this site was extremely important for many reasons. From an economic development perspective, it brought this parcel back into productive use. From an environmental perspective, remediation of the soils/groundwater and installation of a detention basin help to improve water quality of the Assabet River, as most of Hudson's stormwater and groundwater drain into the river.



Bonazzoli property

Landfills

Hudson has no active landfills; however it does have two inactive, capped landfills. One is on Gates Pond Road in the town of Berlin on land owned by Hudson, the other is on Old Stow Road in Hudson and Stow. MassDEP encourages the use of closed landfills for renewable energy facilities, and Hudson is proud to have begun permitting a 5-megawatt solar facility on the old Hudson Stow Landfill site. The solar facility will be installed in Hudson, partially on the top of the capped landfill and partially in the abandoned gravel pit abutting the old landfill site. The project currently has Planning Board, Zoning Board of Appeals, and Conservation Commission approval. Final permitting requires a Payment In Lieu of Taxes (PILOT) agreement which must be ratified by the Board of Selectmen and approved at Town Meeting. Work is projected to begin in fall of 2016.

Although the solar panels will not be placed in Riverfront Area, a number of mature trees will be cut in Riverfront Area to the Assabet River in order to provide enough sunlight for panels in the gravel pit. Southern Sky Renewable Energy, the developer of the solar facility, will be restoring degraded Riverfront Area with shrubs and seed mix, and have contributed a mitigation fund of \$4000 for the purpose of planting trees in other degraded Riverfront Areas in Hudson.

Erosion and sedimentation

Erosion and sedimentation become critical issues when developers build on land that is extremely steep without putting in adequate control measures. In the spring of 2009, three different projects did not have the proper retention materials to hold back several torrential rain storms in the fall. Tripp’s Pond was impacted seven times by a development upstream. The Conservation Commission is currently working with the developer of the largest of these projects to survey the pond and take sediment cores to determine how much silt should be removed from the pond, with the hope of eventually having the funds to dredge the pond.

Chronic flooding

Hudson had two sites where chronic flooding caused numerous road closures. The first site, at Brook Street, had multi-day closures every year. In 2013 the town applied for funding through the FEMA Hazard Mitigation Grant Program (HMGP) and was able to reconstruct the road with greatly improved drainage. The second site was Brigham Street near the Marlborough line. Hudson DPW repaved the road, raising its elevation and adjusting its slope. The flooding issues on both of these roads have been solved.

A flooding problem has begun to develop on Lake Shore Drive, due to the culvert being undermined by heavy rains and the periodic drawdown of Fort Meadow Reservoir. DPW is planning to add a five foot extension to the pipe with a flared end piece on each side of the culvert in order to alleviate the problem. This work should be complete in late summer or fall of 2016.

New development

Although there has been a number of new condominium complexes and new subdivisions in Hudson, the Hudson Subdivision Regulations require all stormwater produced by the new development to be handled on site, decreasing the risk of erosion, sedimentation, and pollution being introduced. In addition, Hudson’s new Open Space Residential Development Bylaw encourages Low Impact Development with decreased negative impact on the environment.

Ground and surface water pollution

Hudson has a number of industries located within its boundaries, with the major industrial area located in the Watershed Protection District. Although the industries contribute a significant financial resource, they also bring in various hazardous materials which could impact its water supplies, lakes, ponds and streams. The Department of Environmental Protection does not list Hudson as having any significant 21E sites, but there have been a number of spills over the last ten years at businesses within the community, that are listed on DEP’s Reportable Release Lookup list.

Impaired water bodies

Both the Assabet River and Lake Boon have been assessed as impaired by MassDEP and have had TDMLs completed. TDML is “Total Maximum Daily Load”, meaning the greatest amount of a pollutant that allows a waterbody to meet water quality standards for public health. Impairments to the Assabet include eutrophication, dissolved oxygen, bacteria, phosphorus, and algae. The greatest impairments to the Assabet River are due to municipal use. According to a study published by MassDEP in 2004, wastewater from municipal waste water treatment plants of four towns, including Hudson, contributed 70-99% of nutrients entering the Assabet River. The report proposed a two-phased plan to reduce phosphorus loading into the Assabet. In 2006, Hudson piloted three new wastewater treatment technologies and selected the most cost-effective one. Hudson completed the updates necessary to meet the new phosphorus limitations in 2010.

Nutrient Loading from Point Sources				
Nutrient	Total Phos.	Ortho-Phos.	Total Nitrogen	Nitrate
Dry weather surveys	82-97%	97-98%	70-97%	78-99%
Wet weather surveys	23-91%	88-98%	32-88%	41-99%
* Point sources, the four major WWTP's: Westborough, Marlborough, Hudson, Maynard. Adapted from ENSR 2001.				

Although these improvements are a great step forward, the Assabet still does not meet the water quality standards for fishing or swimming. The recycling of nutrients in the sediments of the Assabet still needs to be reduced. This problem is largely the result of a string of dams along the river.



Washington Street dam

The Washington Street Dam in Hudson was investigated, along with a number of dams across the state, by the New England District of the United State Army Corp of Engineers through their sedimentation and dam removal feasibility study to see the effects to the impoundment areas above the dam. The study concluded that increased flow to the Assabet River would improve water quality and the overall health of the river. According to research, this dam has a “significant hazard potential” rating. The impoundment area holds a great amount of phosphorus which feeds invasive plant life. A number of factors must be evaluated prior considering dam removal, including potential

for power generation, the dam’s benefit as a flood control mechanism, use as a water supply or as an irrigation source, recreation resource of the impoundment area for swimming, boating or fishing, as well as the historic significance of the structure to the character of the site and setting.

Pollutants in Lake Boon were determined to be largely the result of surface runoff from shoreline residential properties and nutrient export from septic systems. Programs encouraging residents to pump septic systems every one to two years, to use environment friendly household

products, and to limit fertilizer and pesticide use on lawns and gardens have helped to improve the water quality of the lake, but invasive vegetation and algae growth remain an annual problem.

Invasive species

The Fort Meadow Reservoir Commission, a joint Commission of Marlborough and Hudson, and the Lake Boon Commission, a joint Commission of Stow and Hudson, regularly treat these waterbodies for invasive aquatic growth through Solitude Lake Management. Herbicide treatments and drawdowns are used to keep invasive growth under control. These programs have been successful in that smaller treatments have been required in recent years due to decreased vegetation.

Forestry issues

With Hudson largely built out, the only remaining buildable spaces often require cutting large number of trees. Unless the trees are in wetlands jurisdictional areas, there is nothing preventing developers from removing trees. Without a Wetlands Protection Bylaw, even trees in wetlands Buffer Zones are difficult to protect. Even the permitting of a solar facility, an environmentally advantageous development, required allowing over eighty mature trees in Riverfront Area to be cut. And often when trees within or at the edges of construction areas are not removed, they are compromised by the construction and within a few years begin to fail and need to be cut to avoid hazardous conditions.

In addition, forested areas that are protected or otherwise allowed to remain have increasing invasive growth. Norway maples inhibit the growth of other species, bittersweet vines strangle swaths of trees, and native understory plants are choked out by buckthorn, multiflora rose, Japanese knotweed and other invasive vegetation.

Hudson would benefit from increased regulation of tree cutting, increased use of the Open Space Residential Development Bylaw, and a Stewardship Program that includes invasives control. The Conservation Commission is asking Town Meeting to approve a Wetlands Protection Bylaw, which would enable better protection of wetland Buffer Zones. Continued diligence in purchasing forested land when it becomes available must be a top priority.

The Massachusetts Department of Conservation and Recreation (DCR) promotes a Forest Stewardship program to educate woodland landowners and help them achieve management goals. Goals include enhancing wildlife habitat, creating recreational trails, and harvesting timber. Hudson should make use of the Forest Stewardship Program services to promote the health and public enjoyment of its remaining forested lands.

Environmental equity

Another concern for Hudson is Environmental equity, which refers to the distribution of open space and recreational amenities in town. As discussed in the Community Setting section above, the majority of Hudson’s low to moderate income families live in or around the downtown area. This is the most densely populated area in Town, with older homes that have been converted to two and three family apartments. While the more rural, eastern part of Hudson has the Fort Meadow Reservoir and Lake Boon, the large, modern, handicap-accessible Sauta Fields Complex, and proximity to the Assabet National Wildlife Refuge, the existing parks in the downtown area are very small, and several are aging and in need of maintenance and upgrades. With the Assabet River running through this area, there is much untapped potential for walking trails and scenic viewing

areas. In particular, the Moulton’s Field and Cherry Street Field parcels should receive high priority for renovation.

V. Inventory of Land Of Conservation and Recreation Interest

Open space planning is extremely important to the protection of natural resources in a community. Water supplies, agricultural land, wildlife habitats, forests, playgrounds and recreation facilities - whether passive or active - are landscapes that shape a community. Having plans and written documentation of a community's needs and interests leverages significant funding both at the state and federal levels. This can be seen by the projects completed in Hudson over the years such as the Hudson section of the Assabet River Rail Trail, the new South Street Park and the purchase of the Fossile land on 43 Brigham Street and the Gerwick property on Main Street, to name only a few. As important as schools, roads and government services are to residents, conservation and recreation resources are less costly to maintain than the built environment.

Protected and Unprotected Lands

Parcels are divided into two main categories, protected and unprotected. Protected lands include all federal, state, local, non-profit and private lands that are legally protected by state or federal statutes, by the vote of Town Meeting at the time of acquisition or by restrictions in their deed. Unprotected lands are town-owned lands uncommitted for conservation purposes such as schools and other municipal property, land enrolled in MA General Law CH. 61, 61A & 61B, and other private lands that, due to low intensity of use, add to the quality of open space in the Town.

A. Private Parcels



Mass. Central Rail Line

Agricultural Properties, Forested Land and Private Recreation

Hudson has 282.65 acres of land in Chapter 61, 61A or 61B. A large portion of Hudson's oldest agricultural community still remains in the eastern end of town. Combined with other large parcels such as town-owned wells, the Riverside Rod and Gun Club, a private golf course, and private residences not under the special tax program situated along Main Street, Brook Street, Chestnut Street and Stony Brook Road, this section is extremely important in lending Hudson its rural charm. These properties encompass the rolling hills and farms of the Gospel Hill area which are reminders of a more pastoral past. This open space, in close proximity to the Assabet Marshes and Assabet River Natural Wildlife Refuge, plays a vital role in providing habitat for wildlife populations. There is a mixture of wetlands areas, cleared pastures, cropland and upland as well as mixed forests.

Significantly more important is the fact that these large agricultural areas and forests surround our Watershed Protection District and are immediately adjacent to two of

Hudson’s major well areas, Kane and Chestnut. These two important wetland areas, in and of themselves, are open space assets of the community. The Cranberry Well, also in the eastern end of town has property surrounding it that should be investigated for acquisition to better protect that water resource.

The Charter Oak Country Club is also located in the eastern end of Hudson and has 208 acres of open space within the golf course boundaries. Original plans were for a very large housing subdivision back in the middle 1980’s, a project which fell short due to the economy at that time. The Goodale Farms project did split off two parcels for preservation, one is the Goodale Farmhouse.



Goodale Farmhouse, c.1702

Chapter 61 Lands

State Parcel	Address	Owner	Size (acres)	Usage
15-1	181 Central St	Albert and Susan Sukis	39.28	61A - Pasture
22-2,22-7	16 Wilkins St	Riverside Gun Club of Hudson Inc	41.28	61B - Fish and Game
33-3	7 Lewis St	Eric Ferjulian	55.42	61A - Orchard, Crops
33-5	25 Lewis St	Jacqueline Kane	25.37	61A - Crops
45-7	44 Brook St	Donna Blunt	5	61A - Crops
46-2	394 Chestnut St	Hudson Golf LLC c/o Charter Oak Country Club	78.61	61B - Golf Course
71-10, 72-11	480 River Rd	Richard and Charleen Curley	11.14	61A - Pasture
72-14,72-15,73-4	290 Brigham St	Paul Carney	20.71	61A - Pasture
TOTAL			276.81	

With the increase in land values and development pressures, many Massachusetts towns are losing their rural environments. Hudson’s eastern end agricultural lands are prime locations for large subdivisions due to the number of acres still undeveloped. This eastern section does not have public water or sewer hookup and is not slated to in the near future, requiring developers to build using onsite wells and septic systems. Development of this sort could impact water supplies should these systems fail.

In preparing Hudson’s Community Development Plan, many of these larger parcels were identified for preservation and it was the general consensus of individuals attending public visioning sessions that major development in that area would adversely change Hudson’s character. Preservation or conservation restrictions on these parcels would be an enormous benefit as development could adversely impact the area due to improper drainage or overdevelopment.

Hudson is extremely fortunate to have the Assabet River running through our urban center. Unfortunately, most of the land surrounding the river in the western section is developed and there

is very little true open space left. One significant parcel on River Street comprised of 16 acres is a high priority for recreation/open space purposes. Additionally, there are several small private parcels on the shoreline of the river, in the central and western section of town that, if available for acquisition for both conservation and/or recreation, would improve the Town’s public access to the river.

B. Public and Non-Profit Parcels

Park and Recreation Lands

Hudson’s park and recreation property consists of 16 sites throughout the Town, for a total of approximately 126 + acres. Many of those sites are comprised of more than one parcel, but are considered to be one continuous recreation space. Hudson parks are classified onto four categories:

- 1) Athletic Complexes comprised of over 20 acres with heavy use
- 2) Community Parks that are both active and passive areas of under 10 acres that preserve unique landscapes,
- 3) Neighborhood Parks that “...remain the basic unit of the park system and serve as the recreation and social focus of the neighborhood”³
- 4) Mini Parks consisting of one or two acres offering unique, limited or isolated recreation opportunities

Hudson’s two athletic complexes afford residents a variety of recreational opportunities in both the eastern and western ends of town with baseball, soccer and football fields, as well as playground systems and wooded picnic areas. Our Community Parks include a public beach, and a pristine passive park area along the shores of the Assabet River offering an annual summer concert series for residents of all ages. Neighborhood and Mini Parks consist of 15 parcels with 45 + acres scattered throughout the Town.

The public schools also play a vital role in providing recreation opportunities throughout town. The three elementary schools have playground systems and ball fields that are used by the public after school, on weekends and during the summer. The total school property is 119.7 acres.

With a trend in society towards public health and physical fitness, recreation opportunities become a necessity and are no longer a luxury to be enjoyed by more prosperous communities. Hudson has made great strides over the past 15 years renovating areas for multi-purpose use and developing over 35.4 acres as additional recreation space. Unfortunately, with increased development, we are not able to keep up with the ever growing demand for fields for youth and adult sports programs. Additional land surrounding existing fields and schools is extremely important in attempting to provide the community with adequate sports programming. Vacant school land should be investigated for sports field development in the very near future and other properties identified on the Action MAP 12 should be acquired for future recreation purposes.

Assabet River Rail Trail

³ *Park, Recreation, Open Space and Greenway Guidelines*. National Recreation and Park Association and the American Academy for Park and Recreation Administration, p 98

The completion of the Assabet River Rail Trail in Hudson is one of our most exciting recreational resources. Open in 2005, it is used heavily for hiking, biking and walking in good weather, with cross country skiing and snowshoeing in the winter. This resource has been an enormous benefit to our residents. In some locations, the banks of the river are now open to scenic views that were blocked for many years by overgrown vegetation. One such significant point is the trestle bridge off Broad Street that gives a clear view of the downtown areas. It is hoped that the ARRT will be used as an alternate means of transportation into Marlborough and visa versa. The eventual completion of the trail through the Towns of Stow, Maynard and Acton will ultimately connect the ARRT to the South Acton commuter rail station.



Hudson Pathways student artwork

The Town continues to work with the River’s Edge Arts Alliance, ARRT, Inc., Hudson Police, Hudson Historical Society, Hudson Public Schools and Assabet Valley Technical High School on the Pathways Project that incorporates art along the trail. Initially funded by a grant from the Sudbury Foundation and Avidia Bank, the focus is to build community spirit through art, education and history. Celebrating one of our most valuable recreation assets, the project has created art exhibits in the six kiosks along the trail, displaying art by students in our public schools and changed at various times during the school year.

The mural project was completed under the I-290 Connector featuring various drawings of events from Hudson’s past. Additionally wood sculptures and rock paintings have been added in various locations, as well as old style bicycles built by the welding classes of Assabet Valley Technical School. The school students are educated on the history of the rail road system in Hudson, and given the opportunity to research their natural surroundings from the past to the present. They learn about wildlife indigenous to this area and see the vast changes that have taken place in our communities. A small sampling of the pictures appearing in the kiosks include views from bridges over the Assabet River, winter scenes and pictures of trains painted by kindergarten students.



Hudson Pathways art projects

Going forward, we envision the Assabet River Rail Trail to be a transportation corridor, recreational resource and a cultural and historic path through the Town of Hudson for individuals of all ages to enjoy.

Conservation Land

Town owned conservation land in Hudson consists of five large parcels and several smaller parcels for a total of 158 +/- acres. This conservation property is primarily wetlands and forested woodlands not necessarily accessible to the public. Administration of this land lies with the Conservation Commission and some maintenance is provided by the Department of Public Works. This conservation land does not include the 345 +/- acres of water resource areas, well fields, water tanks and water bodies under the administration of the Department of Public Works.

In summer of 2015, the Town merged the Planning and the Community Development Departments and also absorbed the part-time Conservation Agent position, putting all land use under one departmental umbrella. In addition to a Director and Assistant Director, a third position was created, that of a full-time Town Planner/Conservation Agent. Previously, the Conservation duties were split part time with the Board of Health. The creation of this third position was necessary because we needed a full time agent who is responsible for site visits as well as paperwork necessary when applicants file for development of a parcel. The Wetlands Protection Act has created more paperwork and the restrictions are complicated. A part time board is unable to effectively administer without a full time staff member. In addition, Hudson will now have the administrative capacity to build a robust resource management program for its conservation lands.

State, Federal and Non-Profit Lands

Hudson is extremely fortunate to have over 407 acres of land owned by state, federal and land trust organizations such as Sudbury Valley Trustees, the New England Forestry Foundation, the Division of Fisheries and Wildlife, the Division of Conservation and Recreation, as well as the Town of Maynard. It is unclear if any of these properties have any conservation restrictions or protection, and this will be a focus for the future to seek information and protection for these properties, since three of the parcels are over 100 acres. The majority of these properties are located in the eastern section of Hudson.



Tripp's Pond

Non-profit organizations with property in Hudson include the Hudson Elks Lodge, Riverside Rod and Gun Club, the Hudson Portuguese Club and Yankee Golden Retriever Rescue. These four parcels of ten acres or more do not have any protection. The Town should meet with their individual Boards and Trustees to seek their input for future plans they may have for the property to ensure that they remain open or seek conservation restrictions on those parcels.

Inventory of Lands of Conservation and Recreation Interest

PARK AND RECREATION PROPERTY										
Plate-Parcel	Property	Location	# of Acres	Zoning	Condition	Access	Management	Current Use	Potential Use	
029-028	Liberty Park	8 Washington Street	0.27	C1	good	yes	Park Commission	Veterans memorial, benches, view Assabet River and LIB programs	Mini Park	
011-233	Farina Field	Cox Street	2.63	C4	good	yes	Park Commission	ballfield	Neighborhood Park	
029-221	Cellucci Park	South Street (Old South St Park)	1.8	M2	excellent	yes	Park Commission	skateboard park	picnic area	
029-224	Cellucci Park	South and Houghton Streets (Larkin Land) Port and Riverview Streets	1.6	C1	excellent	yes	Park Commission	splash park, pavilion for entertainment and playground	picnic area	
039-084	Apsley Park		1.6	SB	poor	yes	Park Commission	passive along Assabet River	trails	
030-095	Cherry St Field	Cherry Street	3.75	Sb	fair	yes	Park Commission	ballfield and playground	scenic views	
030-071	Taylor land	adjacent to Cherry St Field	1.5	SB3	poor	no	no designation	undeveloped	scenic views	
063-016	Chapin Rd Fields/Boutwell	Chapin Road	4.45	SB3	excellent	yes	Park Commission	ballfields (3) concession	playground	
019-013	Moulton's Field	Marion and Dewey Streets	3.5	SB	good	yes	Park Commission	ballfield	playground	
053-2 partial	Intel Field (Westridge)	Technology Drive	3	SA8 over 55	excellent	yes	Westridge	ballfield	playground	
067-047	Centennial Beach	89 Fort Meadow Drive	7.93	SA8	excellent	yes	Park Commission	beach, parking lot, trails	playground, sports court	
040-009, 039-068	Wood Park	Park Street	21.8	SB	excellent	yes	Park Commission	passive recreation site along Assabet River, pavillion for entertainment, playground	canoe launch	
45-29 partial	Sauta Cornfield	Brook Street	5.5	M8	fair	no	Park Commission	soccer complex completed 2013	Maximized	
028-154	Hog Brook	Linden Street	11.566	SB3	brook	no	Park Commission	brook	Community Parks	
028-151	Tripp's Pond/Lamson Park	River and Green Street	7.57	5B-3	good	yes	Park Commission	passive recreation fishing, walking trails	Maximized	
051-052	O'Donnell Field	Hudson High School	10.62	SB	excellent	yes	Park Commission	ballfields (2), concession	Maximized	
051-008	Fossile Property	43 Brigham Street	6.63	SB	pond, wooded, open field	yes	Park Commission	level ballfield (2013) and fishing pond	trails	
045-001	Sauta Property	Main Street	19.85	SA5	excellent	yes	Park Commission	ballfields (2), concession and restroom building, playground	walking trails	
051-009	Riverside Park/Morgan Bowl	Chapin Road	23.97	SB	excellent	yes	Park Commission	ballfields (3) concession, tennis courts, playground	Maximized	
TOTAL PARK AND RECREATION PROPERTY			139.536							

Inventory of Lands of Conservation and Recreation Interest

CONSERVATION COMMISSION PROPERTY										
Plate-Parcel	Property	Location	# of Acres	Zoning	Condition	Access	Management	Current Use	Potential Use	
065-008, 065-039	Buteau Land	Marlboro Street	16.43	SA8	wooded	no	Conservation Commission	unknown	passive recreation	
071-002	Fosgate Lot (DPW)	River Road	21.5	M7	wooded	no	Conservation Commission	unknown	passive recreation	
055-116	Morse Property	Causeway Street	16.0	SA8	wooded	no	Conservation Commission	unknown	passive recreation	
010-001	Danforth Lot (Phillips Villa)	Route 85	50.88	SA8	good	yes	Conservation Commission	trails/passive recreation	maximized	
038-050	Mayo Property	Falls Brook Road & Route 85	9.94	SA8	good	yes - Danforth	Conservation Commission	trails/passive recreation	maximized	
010-60	Parcel A	Laurel Drive	1.22	SA8	good	no	Town of Hudson	unknown	passive recreation	
003-036	Parcel P	Falls Brook Road	0.45	SA8	good	yes - Danforth	Town of Hudson	trails/passive recreation	maximized	
054-004	Clement Kane Land	Chestnut Street	15.61	SA5	wetland	no	Conservation Commission	unknown	passive recreation	
039-083	Loureiro Land	6 Port Street	2.52	SB3	wetland	yes	Conservation Commission	Community Garden and habitat	maximized	
039-082	Warner Property	Riverview Street	1.22	SB	wooded wetland	no	Conservation Commission	habitat	scenic views	
	River's Edge	Brigham Street	12.764	SA8	wetland	no	Conservation Commission	unknown	scenic views	
032-024	Gerwick Land	Main Street	26.88	SA5	wooded, wetland	no	Conservation Commission	no current access	trails, passive recreation	
	Lot A (Wheeler Rd/Westridge)	Wheeler Road	10.04		wooded, wetland	no	Conservation Commission	no current access	trails, passive recreation	
TOTAL CONSERVATION PROPERTY			185.454							

Inventory of Lands of Conservation and Recreation Interest

WATER RESOURCE PROPERTY										
Plate-Parcel	Property	Location	# of Acres	Zoning	Condition	Access	Management	Current Use	Potential Use	
012-041	Cox St Well	Cox St	10.18	SA8		no	Public Works	well	maximized	
013-022	Pierce Estates	Pierce S/Edith Rd	4.01	SB		no	Public Works	unknown	passive recreation	
017-044 023-021, 023-027	Coolidge Street	Coolidge St	26.24	LC11		no	Public Works	unknown	passive recreation	
033-014, 033-015, 033-016 033-019	Kane Well Main/Chestnut Well Fields	Chestnut St	17.80	M6		no	Public Works	water supply protection	maximized	
		Chestnut St	53.00	M6		no	Public Works	water supply protection	maximized	
024-002	Kane Well	Main Street	52.80	M6		no	Public Works	water supply protection	maximized	
033-018	Main/Chestnut Well Fields	Main Street	5.46	SA5		no	Public Works	water supply protection	maximized	
034-014	Kane Well	Main Street	10.07	M6		no	Public Works	water supply protection	maximized	
034-015	Chestnut Street Well (Parker land)		6.50			no	Public Works	water supply protection	maximized	
033-007	Main/Chestnut Well Fields	Chestnut St	2.30	SF		no	Public Works	water supply protection	maximized	
044-008	DEC Well	Chestnut St	1.17	SA5		no	Public Works	water supply protection	maximized	
027-003	Crystal Springs	Still Drive	4.72	SB4		no	Public Works	water supply protection	maximized	
029-038	Behind Fire Station	8 Washington St	1.30	SB		no	Public Works	water supply protection	maximized	
040-074	Water Tank (Popes Hill)	1 Mildrid Circle	1.81	SB		no	Public Works	water tank	maximized	
044-026	Crestview Dr Water Tank	7 Crestview Dr	2.28	SA5		no	Public Works	water tank	maximized	
047-009, 047-012, 059-004	Cranberry Well Field	Parmenter Rd	26.64	M6		no	Public Works	water supply protection	maximized	
59-5	Schofield Property	Cranberry Lane	16.93	SA-8	wetland	maintenance only	DPW	water supply protection	passive recreation	
054-163	Saratoga Dr Water Tank (Round Top)	Saratoga Drive	8.15			no	Public Works	water tank	maximized	
056-017	Harry's Swamp	Murphy Road	4.00	SA5		no	Public Works	water tank	maximized	
072-002, 072-003, 072-007, 072-008	Rimkus Well	Rimkus Rd	9.03	SA7		no	Public Works	water supply protection	maximized	
	Ft. Meadow Reservoir	Land under lake	41.8				unknown	boating, swimming, fishing, etc.	maximized	
TOTAL WATER RESOURCE PROPERTY			306.19							

Inventory of Lands of Conservation and Recreation Interest

SCHOOL PROPERTY										
Plate-Parcel	Property	Location	# of Acres	Zoning	Condition	Access	Management	Current Use	Potential Use	
010-006	Farley School	119 Cottage St	27.01	SA8	good	yes	ballfields PC/DPW	School building with ballfield and playground	maximized	
012-004	JFK Middle School - Side Lot	Stratton Road	0.72	SA8	good	yes	ballfields PC/DPW	School building with ballfield and playground	maximized	
012-045	Quinn Middle School	201 Manning St	21.35	SA8	good	yes	ballfields PC/DPW	new school opened in Sept 2013	maximized	
021-072, 022-001	Mulready School	Cox St	34.22	M5	good	yes	ballfields PC/DPW	School building with ballfield and playground	maximized	
031-042	Forest Ave School	136 Forest Ave	20.50	SA8	good	yes	ballfields PC/DPW	School building with ballfield and playground	maximized	
040-233	Hubert Kindergarten	119 Broad St	1.35	C6	good	yes	playground PC	playground Thomas Kelley	maximized	
051-010	High School	69 Brigham St	13.85	SB	good	yes	ballfields PC/DPW	School building with ballfield and playground	maximized	
TOTAL SCHOOL PROPERTY			119.00							

Inventory of Lands of Conservation and Recreation Interest

STATE, FEDERAL, and NON-PROFIT LANDS										
Plate-Parcel	Property	Location	# of Acres	Zoning	Condition	Access	Management	Current Use	Potential Use	
048-003	Division of Fisheries and Wildlife Dept of Environ	White Pond Rd.	123.0	SA8	wooded	unknown	US Government, Forest Devens	walking trails	passive recreation	
036-080	Management -State Forest Dept of Environ	Main Street & White Pond Rd.	106.0	SA8	wooded	unknown	Dept of Forest 100 Cambridge St, Boston	unknown	passive recreation	
036-068	Management -State Forest	Main Street & Old County	3.79	SA8	wooded	unknown	Dept of Natural Resources, 817 Lowell St, Carlisle	unknown	passive recreation	
057-007	Goodale Forest	Murphy & Chestnut	27.0	SA5	wooded	unknown	NE Forestry Foundation	forest	passive recreation	
045-010	Goodale Forest	Murphy, Chestnut Brook	3.2	SA5	wooded	unknown	32 Foster Street, Littleton, MA 01460	forest	passive recreation	
037-02	Town of Maynard White Pond Rd Acquirer	Main St & White Pond Road	133.0	SA8	wooded	unknown	Town of Maynard, MA SVT , 18	unknown	passive recreation	
032-029	Sudbury Valley Trustees	Forest Avenue	11.18	SA5	wooded	unknown	Wolbach Rd, Sudbury	unknown	passive recreation	

Conservation Restrictions

Parcel	Address	Grantor	Grantee	Size (acres)	Status	Usage
Rivers Edge	Brigham Street	Charles Freeman, Trustee	Conservation Commission	12.76	recorded 2007	undeveloped
Shofield Property	Cranberry Lane	Town of Hudson	Park Commission	16.9	Pending	undeveloped
Sauta Cornfield Property	Brook Street	Sauta Farm Condominium Trust	Town of Hudson	16.93	Pending	playing fields, active and passive recreation
Fossille Property - Area A	Brigham Street	Town of Hudson	Park Commission	2.78	Pending	fields, active recreation
Fossille Property - Area B	Brigham Street	Town of Hudson	Conservation Commission	3.84	Pending	passive recreation
Westridge	Wheeler Road	Wheeler Road Land Trust	Town of Hudson	10.04	Pending	trails, passive recreation

Hudson's Community Development Plan took a very detailed look at every parcel within the town



Tannery Brook Bridge between Skate Park & Splash Park

to determine its best use for four key elements: housing, economic development or redevelopment, natural resource protection and transportation enhancement. The Ad Hoc Committee for this strategic planning process included local board and committee members and individuals within the community. The first evening's public session formed four break-out groups to discuss the core elements of the plan. Using town maps, the second public hearing divided the town into four regions to closely examine each parcel and brainstorm on the issues within each section of town. The groups identified parcels suitable for development of housing, areas appropriate

for commercial development, lands to be preserved for open space, resource protection and recreation and finally transportation infrastructure needs. A copy of this study is available on the Town's Website with hard copies in the Hudson Public Library for residents to view.

Hudson's Reconnaissance Report developed through the Freedom's Way Heritage Landscape Program (2006) highlights priority landscapes that are essential to the character of Hudson. The focus of this report was to identify landscapes and special places that influenced land use patterns, places where human interaction with the natural environment helped to define the character of our town. These include neighborhoods of older Victorian homes, cemeteries, our downtown, the railroad system, churches, municipal buildings, industries and residential housing connected to those industries, dams and bridges, parks and conservation lands, the river, ponds and streams. Each individual property was documented and many recommendations were made to include certain elements on the Massachusetts Historical Commission's inventory. Hudson's eight priority Heritage Landscapes are the Assabet River Corridor, Central Street Neighborhood, Downtown, Gospel Hill, Mass Central Railroad ROW, Park/Washington Street Neighborhood, Pleasant/Pearl Street Neighborhood, and Wood Square. This process of identifying these landscapes began with an open meeting to gain input from residents, then proceeded to a fieldwork session where members of the consulting team, town officials and residents actually visited the various sites. Results of the program also identified planning tools available to our community, along with preservation recommendations.

The passage of the Community Preservation Act in 2007 has proven to be another valuable tool in gaining input from the community and other non-profit organizations on their goals and objectives regarding affordable housing, historic preservation, open space and recreation needs. Meetings over the past six years have given the Town a vast amount of insight into other agencies' needs and have given us another avenue of informing individuals of the importance our community's character.

Participation in MAPC and other state agency regional planning efforts also contribute greatly to our goals and objectives. Many of their initiatives present the same goals as local requests.

B. Statement of Open Space and Recreation Goals



Boutwell Field

Morgan Bowl at Riverside Park

Busch Field

The overall goals and objectives of the plan are relatively the same as those identified in the 2011 Open Space and Recreation Plan - to preserve and protect our valuable natural resources, provide our citizens with adequate recreational opportunities and continue to educate residents of the importance of both to a community.

- *Preservation of natural features* – These features lend Hudson its character, identity and link to a more pastoral past.
- *Acquisition and maintenance of open space* - Open space plays a vital role in providing habitat for local and transient wildlife populations, defining neighborhoods, integrating land uses or acting as a buffer between non-compatible land uses. Open space allows the natural environment to exist alongside the built environment. Passive recreation opportunities abound in conservations areas. Maintenance programs for foresting should be considered to make access easier, clean up of dead and rotted trees, and make way for new plantings where necessary.
- *Protection of water supplies, wells and aquifers and land surrounding these areas* - Our water bodies serve many different purposes from drinking to recreational swimming, boating and fishing. Historically, pollution of ponds and streams can be directly related to development of areas upstream, improper drainage and runoff of developed areas, or overdevelopment. These are all elements that contribute to unhealthy ponds, lakes, streams and rivers.
- *Expansion and enhancement of recreation facilities and opportunities* - Recreational sites accommodate a community’s ever-growing need to engage in leisure time activities, whether it’s organized sports, individual physical fitness or passive recreational activities. With a definite trend in society toward health and fitness, recreation opportunities in a community become a necessity not a luxury.
- *Accessibility for all residents to Town resources* - Over the past ten years, the Town has made a concerted effort to make many town buildings and parks accessible to all residents. Many of our buildings (Public Library, Main Street Fire Station) and public spaces (Liberty Park) are older and are not totally accessible due to their ages and overall landscape configuration.
- *Adequate funding for acquisition, renovation and development of areas* - The Town passed the Community Preservation Act in 2007. This has significantly helped with funding for historic preservation, open space, recreation and affordable housing, but the Town should continue to apply for grant funding, private donations and gifts to offset the CPA and other municipal funding.

- *Steering development toward existing infrastructure* - With the recent by-law changes for Accessory Dwelling Units, Open Space and Residential Development, and the Adaptive Re-Use Overlay District, the Town is now in a better position to negotiate with developers for responsible development planning.
- *Transportation alternatives* - With the growing concerns about greenhouse gas emissions and the epidemic of overweight adults and children, alternate means of transportation should be practiced. Biking and walking using existing trails should be incorporated into recreation programs and activities. Creation of more trails, hiking areas and “walkable” streets should be a priority.

Sections 7, 8 and 9 of this study will go into greater detail identifying specific needs to be addressed.

Open Space - Identified for Preservation

Plate - Parcel	Property	Location	# of Acres	Assessors Field Card Descrip.	Potential Use or Restriction	significance
62-66	Quality Crafted Res (Sarno)	Off Chapin Road	11.28		conservation	along Assabet River
39-26	Doris Jenkins Land	River Street	8.74		conservation/recreation restriction	along Assabet River
39-27	Doris Jenkins Land	River Street	1.75		conservation/recreation restriction	along Assabet River
51-2	Doris Jenkins Land	River Street	4.0		conservation/recreation restriction	along Assabet River
39-69	Elks-parcel 1	Park St.	5.8	quasi public	conservation restriction	along Assabet River
	Elks-parcel 2	Park St.	8.736	quasi public	conservation restriction	along Assabet River
40-6	Gay Land	Park Street	2.65		park expansion	next to Wood Park
39-29	Portuguese Club	River St.	5.7	quasi public	right of way for walkway	next to Apsley Park
39-30	Portuguese Club	Port St.	4.66	quasi public	right of way for walkway	next to Apsley Park
71-10	480 River Rd Realty Trust (Curley's)	480 River Rd.	10.56	61A	agricultural restriction	along Assabet River
72-11	480 River Rd Realty Trust (Curley's)	River Rd	1.5	61A	agricultural restriction	along Assabet River
51-001	Yankee Rescue Prop Corp	110 Chapin Rd	18.75		right of way for walkway	upper Assabet Greenway
29-216	Knight Fuel	Houghton Court	0.92		recreation	Rail Trail
71-4	Saaristo	River Road	11.0		passive recreation	next to Fosgate Town Forest
72-14	Carney (Pine Hill Invest Trust)	290 Brigham Street	9.8	61A	conservation/recreation restriction	across from Old Town Road
72-15	Carney	290 Brigham Street	7.0	61A	conservation/recreation restriction	across from Old Town Road
73-4	(Carney) Pillar Realty LLC	290 Brigham Street	3.9	61A	conservation/recreation restriction	across from Old Town Road
3-1	Century Mill LLC (Davis)		1.8		conservation land	Adjacent to Danforth/Mayo
18-1	Albert Sukis Land	Central St	40.2	61A	conservation/recreation restriction	adjacent to Danforth/Mayo
22-32	Ribber/Albertini/Meers	Wilkins Street	16.51		conservation/recreation restriction	next to Rod & Gun
14-4	E Perkins	Wilkins Street	16		conservation/recreation restriction	land locked behind above property
22-20	Gutknecht, Ruth	Wilkins Street	5.86	61B	conservation/recreation restriction	next to Rod and Gun
22-2	Riverside Rod and Gun Club	Wilkins St	41.5	61B	conservation/recreation restriction	adjacent to Mulready School
22-7	Riverside Rod and Gun Club	Wilkins St	0.7	61B	conservation/recreation restriction	adjacent to Mulready School
33-3	Ferjulians Land	7 Lewis Street	57.27	61A	agricultural restriction	Gospel Hill
23-16	Ferjulians Land	Main Street	1.38	61A	agricultural restriction	Gospel Hill
33-4	Ferjulians Land	Main Street	3.07	61A	agricultural restriction	Gospel Hill

Open Space - Identified for Preservation

Plate - Parcel	Property	Location	# of Acres	Assessors Field Card Descrip.	Potential Use or Restriction	significance
33-5	Roger Kane - Pompositicut	25 Lewis St.	29.5	61A	conservation/recreation restriction	Gospel Hill
32-26	Albert Hovagmian Land	482 Main St.	61.5	exp 2014	conservation/recreation restriction	Gospel Hill
32-27	Albert HovagmianLand	Main Street	4.0		conservation/recreation restriction	Gospel Hill
31-65	Quinn Land	Old North Road	8.0		conservation/recreation restriction	contiguous to Gospel Hill lands
32-28	Irene Welton	497 Main St.	8.0		conservation restriction	Gospel Hill
46-2	Hudson Golf LLC-Charter Oak	15 Brent Dr	208.81	recreation	conservation/recreation restriction	eastern end of Town
57-6	Rebecca Mattison	Chestnut St	5.0		conservation/recreation restriction	next to NE Forest Foundation
45-8	Newcombe	Murphy Road	5.437		conservation/recreation restriction	next to NE Forest Foundation & Sauta
45-9	Kane-Perkins	Brook Street	26.8		conservation/recreation restriction	across from NE Forest Foundation
56-16	owner unknown	Murphy Road	6.0		water resource	Foundation and DPW water resource
60-2	White Pond Road (Capasso Farms)	White Pond Rd	30.3		conservation/recreation restriction	next to 123 ac DEM land
21-112	Lee Murphy Land	Priest Street	6.5		conservation/recreation restriction	adjacent to Central Mass Wayside Branch
	TOTAL ACRES		700.89			

VII. ANALYSIS OF NEED

A. Summary of Resource Protection Needs

The Assabet River, streams, lakes and ponds

The majority of Hudson's developed land is in the western end of Town. This is due in large part to the Assabet River and the resource it provided to industry in the 1800's. Three of Hudson's major drainage basins are located in this densely populated section of town, which also has limited open space. Continued protection of land along the Assabet, its tributaries and watershed areas are a high priority, whether through acquisition, limited development, conservation zoning, and/or conservation restrictions. As our community becomes more urbanized from the increase in development, runoff from impervious surfaces and residential lawn maintenance becomes a great concern to these natural resource areas.



Taylor Memorial Bridge

The Conservation Commission drafted a local Wetlands Protection by-law that would control activities deemed to have a significant or cumulative effect upon resource value areas. These resource value areas include public or private water supplies, water quality, controls for soil and water pollution, fisheries, shellfisheries, wildlife habitats, rare species habitats, agriculture, aquaculture and recreation. This by-law was defeated at Town Meeting in 2002 and the Conservation Commission is revising the proposed bylaw for submission at the November Special Town Meeting in 2016.

Hudson's sources of drinking water come from six sources: five water wells (Kane, Cranberry and Chestnut 1, 2, and 3) as well as the Gates Pond surface water supply. The Town has recently completed upgrading the filtration system at Chestnut and diverting water from Kane and Cranberry to that new filtration system. Hudson should continue to investigate additional well sources since the above are showing signs of overuse which causes more minerals to appear in some of the five well sources. Hudson should also explore future sites for water wells, including potential options in adjacent communities.

Continued involvement with the SuAsCo Watershed Community Council, Assabet Consortium and the Organization of the Assabet River to study measures to improve water quality is imperative. As these organizations study ways to achieve improved water quality, the Town needs to keep residents informed of the potential effectiveness of these various alternatives that will also improve wildlife habitat areas. Those organizations, along with the Town, have been involved in numerous plans in past years, but state and federal government officials must be lobbied to allocate grant funding to implement the actions of those studies.

The eastern section of Town has protected lands, many acres of Town-owned well protection property and state and federal forests. There is little or no town sewer in this section of town; therefore, development using septic systems could adversely affect water supplies if failure should occur within the systems.

The Town should continue to link parcels to encourage their use for nature trails. Presently, some are not connected, making continuous trails impossible. The Mass Central Rail Trail – Wayside Branch project is a significant benefit to Hudson connecting the population with the open space resources in the eastern end of Town. Additionally, many of the Chapter 61 and 61A parcels are located in the eastern section. The Town does have first right to refusal for purchasing these properties. However, time limitations and financial constraints can make those situations unattainable. Hudson should continue to vigorously pursue discussions with the present landowners, creating positive relationships, so that when the sale of property is considered, the Town is in a better position to negotiate before private land developers get involved.

Coordination of efforts with surrounding communities regarding their intentions for land use and development along our borders could affect our actions on acquisition of properties in those locations. There is potential for regional projects with surrounding communities.

The Town must encourage use of the Open Space Residential Design by-law, regulating development and setting aside a certain amount of property for recreation and open space purposes. This property could then link with other conservation/recreation properties, with emphasis on lands which lie along the Assabet or are located in a watershed area.

The following are continuing actions that Hudson should strive to achieve to protect its resources (MAP 12):

- ◆ Protect natural habitat areas for wildlife, since there is little land where this exists.
 - Obtain conservation restriction on River Street land to protect the shores of the river.
- ◆ Water resource protection:
 - Protect agricultural properties in eastern end of Town.
- ◆ Management programs for conservation properties:
 - Create a forestry program, which could generate funding for future conservation programs.
- ◆ Weed and sedimentation control programs for ponds and streams:
 - Tripp’s Pond needs immediate action to control eutrophication.
 - Pickle’s Pond needs cleanup of debris near out flowing stream.
 - Continue lowering Fort Meadow Reservoir to freeze non-native weed infestation, which has recently provided very good results.
 - Support the SuAsCo Watershed Community Council.

- ◆ Protect riverfront land through purchase, gift, conservation restriction, limited development or perpetual easement:
 - Obtain easements through Portuguese Club and Yankee Golden Retriever Rescue land on north side of the Assabet River for a walkway.
 - Protect south west section of the Assabet River, just past Chapin Road Bridge.
 - Protect the property north-east of Wood Park.
 - Acquire parcel on the River Street adjacent to Portuguese Club.
- ◆ Permanently protect existing agricultural land by outright purchase of the land, development right purchase, agricultural restriction or conservation restriction, such as:
 - Large parcels in eastern section on Gospel Hill.
 - Parcels along River Street, Wilkins Street and off lower Main Street.

B. Summary of Community Needs

SCORP 2012 highlights the importance of investing in land for conservation and recreation since it accommodates individuals' daily needs for short distance visits to outdoor recreation and environments.

Results from public meetings sited trails close to areas where individuals lived and water-based recreation. Hudson is fortunate to have the Assabet River Rail Trail in the most densely populated section of Town and a splash park in our downtown, along with Fort Meadow Reservoir that houses our public swimming facility and is appropriate for boating activities.

The State's Commonwealth Connections program highlights the benefits of greenways along river corridors that help to rejuvenate the neglected river systems. Suggested strategies include the protection of key parcels for access to the river, creation of river walks on both public and private land, and incorporation of unique historical and ecological resources linking special places in a community. Whether walking, jogging or biking, residents will have the opportunity to enjoy nature, interact with others along the trails and learn more about their native environments. For the past several years, the Assabet River and its tributaries have been the focus of protection and conservation efforts by the Town, as demonstrated by the purchase of several key parcels, redevelopment of an urban park and the completion of the Assabet River Rail Trail.



Assabet River Rail Trail in Downtown Hudson

Needs of Special Groups

Information from the SCORP 2012 states that age and disabilities are two driving forces in the types of recreation activities that people within the commonwealth wish to see in their communities. The growing community of older adults prefers more passive recreation such as walking paths, while households with residents with disabilities (most of those ambulatory), would like to see more picnic areas, swimming opportunities and gardening.

Under *Demand for Outdoor Recreation*, one significant result of the survey for SCORP 2012 was that the needs of 13 to 18 year old age group are underserved. Respondents indicated that this age group wanted teen centers and skateboard park areas. Hudson is fortunate to have a skateboard park built in 2008. There is a Boys and Girls Club in Hudson which is open to this age group, offering a fairly inexpensive “teen center” type program year round. Hudson should continue to expand activities available for teenagers.

In reviewing the Town’s ADA 504 Self Evaluation, completed in 1993, many of the goals for “structural transition” have been completed at public playgrounds and recreation areas, making them handicap accessible. With the installation of several new playground systems (funded through Capital Outlay funds, the Home and School Association and a CDBG grant), many of the accessibility goals have been achieved. However, there are still a number of facilities that do not meet ADA standards. Hudson should place a high priority on upgrading sports facilities and playgrounds to accommodate people with disabilities.

With the population aging, another group that warrants special attention is the elderly. Hudson has an active Senior Center; however, more opportunities for physical activity should be available for senior citizens.

The following are continuing actions that Hudson should strive to achieve to meet the needs of its community:

- ◆ Maintain a balance between recreation and open space lands, when acquiring and/or developing parcels.
- ◆ Direct development to sections of town where infrastructure already exists and reuse vacant buildings.
- ◆ Address the needs of special groups, particularly the growing population of senior citizens. Senior citizens now make up over 25% of Hudson’s population. In February, 2016, the Hudson Planning Board was awarded the Healthy Aging through Healthy Community Design mini-grant, which will fund studies to determine how zoning can promote a more healthy and active lifestyle. This grant should be used as a stepping off point to determining the needs of senior citizens.
- ◆ Additional open space:
 - Investigate Mulready School land.
 - Convert underutilized recreation area into a dog park
 - Continue conversations with landowners of larger parcels to purchase property for future conservation and recreation needs.
- ◆ Improve access to the river to include canoe access and scenic views.

- ◆ Sports field maintenance programs:
 - Rotate use of fields for periodic regeneration.
 - Replace old fencing, playground equipment and renovate existing fields and courts.
 - Hire additional staff, as necessary, to keep up with ever growing recreation programs and maintenance needs.
- ◆ Development of biking, hiking and walking trails throughout the Town:
 - Link Assabet River Rail Trail to other recreation areas.
 - Work with the Department of Conservation and Recreation –Mass Central Rail Trail - Wayside Branch project.
 - Create the Assabet River Greenway from south side on Brigham St (behind High School) around to north side on River (Yankee Golden Retrieve Rescue land).
 - Coordinate efforts with Marlboro for trails on Chestnut Street (Clement Kane conservation land).
 - Coordinate with Bolton for trails above the Danforth Brook property.

C. Management Needs, Potential Change in Use

In researching Town land deeds and Town Meeting articles that authorized procurement of various parcels, many only indicate “Town of Hudson” with no clearly defined department management. There needs to be a process in place by which various departments can communicate and assign responsibility for specific land management. In this way, a comprehensive strategy can be developed to protect open space and address recreational needs in the future. As with the Rail Trail project, we should also strive to communicate well with abutting towns.



Assabet River

Some parcels (much of the land at the eastern end of Hudson, for example) have already been identified as priorities for protection. Others, such as parcels along the Assabet River, are in areas of particular interest to environmentalists and other interest groups who wish to preserve the natural beauty of the area and further protect the shores of the Assabet River. Many of the privately-held parcels of interest that are candidates for protection abut Town resources. Land taxed under Chapter 61 (forestry) and 61A (agriculture) are not permanently protected, although the Town has the right of first refusal. Should the lands come up for sale, the

landowner need only pay off back taxes, which are not significant when selling to a developer.

As we move forward in designing and renovating existing lands, we will continue to make decisions (such as fencing and landscaping) that ensure the multi-use aspect of these properties.

Hudson has a number of very important Town projects to manage over the next several years, as well as having a very aggressive and comprehensive list of goals and objectives identified in this plan. Several positions have been created, such as the third staff person in the Recreation Department and the Town Planner/Conservation Agent. There is still a need to necessary to hire additional maintenance personnel for the Department of Public Works Grounds Department to continue constructive maintenance of all public areas - not just Recreation, but also Conservation properties.

The Town has acquired approximately 100 +/- acres of land in the last thirteen years, as well as 3 miles of trail along the ARRT. The amenities in our newest urban park include a playground system, skateboard area, splash pad and pavilion. These require maintenance, programming and informational services that the current staff is hard pressed to handle effectively. The Rail Trail alone has paved areas, fencing, benches, kiosks, etc. that will need some attention throughout the course of the year.

Projects such as the Senior Center renovation, the South St. Municipal Parking Lot renovation, bridge replacement projects, the redevelopment of Route 85 are all items that necessitate input from the Planning Department and Conservation Commission. Other private ventures such as the over 55 Westridge Condominium Project, the Highland Commons Mall development and RK Plaza also require a number of hours of meetings and input from those departments. It is imperative that Town staffing is adequate to handle issues so that it is able to meet the needs of this community, to encourage smart growth principals, while protecting valuable natural resources from adverse development.

With the number of parcels preserved through the Community Preservation Act, some for conservation purposes, recreation and water resource protection, there is a need for a Land Trust organization to hold the Conservation Restrictions required by the Community Preservation Act. Unfortunately, there are a number of organizations that are willing to hold conservation restrictions but none that will hold a recreation restriction. Sudbury Valley Trustees may be a good option for the conservation restrictions, while Hudson may need to form its own organization to hold the recreation restrictions.

VIII. Goals and Objectives

Goal A - Preserve, protect and enhance Hudson's Open Space and Recreation Resources

Objectives

1. Acquire, expand and enhance scenic or threatened parcels for open space and recreation purposes.
2. Create maintenance programs for existing conservation land.
3. Continue to upgrade existing facilities.

Goal B – Goal B: Increase recreational opportunities for all residents

Objectives

1. Increase the number of facilities that are accessible to individuals with disabilities.
2. Increase passive recreational opportunities
3. Enhance urban recreational opportunities

Goal C - Promote Community Awareness and Involvement

Objectives

1. Educate the public on the importance of open space and our natural resources
2. Involve volunteers, probation/criminal justice program personnel, and corporate community service programs

Goal D – Create linkages between Open Space and Recreation parcels

Objectives

1. Work cooperatively with other towns to link adjacent projects and property.
2. Work to create connections between public and private parcels
3. Link public properties within Hudson

Goal E – Facilitate the implementation of this plan

Objectives

1. Provide infrastructure to facilitate acquisition of open space and recreation
2. Pursue funding opportunities to further the goals and objectives of this plan.

IX. Seven Year Action Plan

This Seven-Year Action Plan is based on the Goals and Objectives in the preceding section. The success of this Plan will depend upon active support from a variety of parties, including many outside of Hudson government. Many action items are ongoing and will require continuous attention by responsible parties.

Some items in the plan are considered higher priority than others. Current priorities include:

Properties in Eastern End of Town – This area of Hudson has over 211.78 acres of woodlands or active farmland. It also lies above the Town’s watershed protection district and two significant well fields. Development of this area would seriously impact those wells and drastically affect the character of that section of town. We must continue conversations with those land owners to make them aware of the Town’s position on the effect of development of those properties and our interest in protecting them through outright purchase, conservation restrictions and/or purchase of development rights.

Centennial Beach Renovation – With the recently completed improvements to the drainage on the emergency access driveway to improve runoff issues, the Town should consider restoration and rehabilitation of the picnic grove area that gives this recreation resource its unique, shaded area environment. Also, the comfort station was built in the mid 1960’s and is in need of serious attention due to its age and use.

Ribber/Albertini/Meers Land – Acquire this parcel (16+ acres) on Wilkins Street – adjacent to Riverside Rod and Gun Club for recreation/conservation purposes.

Jenkins Land – Acquire this property (168 River Street) – adjacent to Hudson Portuguese Club and Yankee Golden Retriever, along the Assabet River for future recreation/conservation needs (16+- acres).

River Walkway – Acquire land and/or easements behind Hudson High School, along the Assabet River over O’Donnell, Fossile, through Elks property to Wood Park over Taylor Memorial Bridge to Assabet Park, through Portuguese Club, Jenkins and Yankee Retriever land back to Chapin Road.

Cherry Street Properties – Survey work and wetland delineation has been completed. Investigate the best use of the Town-owned parcel that is adjacent to an active recreation field along the Assabet River and seek information on other abutting vacant land in that area that could be used to its full potential for recreation and conservation purposes.

Murphy Land – Acquire this parcel (6.5 acres) on Priest Street that is on the Assabet River and runs adjacent to the Mass Central Rail Line.

Community Recreation Facility – Investigate vacant commercial/industrial buildings for use as a public community recreation center.

Seven Year Action Plan

Objective	Action	Responsible Party	Time Frame	Potential Funding Source
Goal A: Preserve, protect and enhance Hudson's Open Space and Recreation Resources Acquire, expand and enhance scenic or threatened parcels for open space and recreation purposes.	Increase protected land at Gates Pond Water Supply and abutting properties	Conservation, Park Commission and DPW	2017	CPA, grant money
	Continue to identify important open space properties and obtain through conservation restrictions	Conservation	Ongoing	no funds necessary
	Acquire easement through Portuguese Club and Yankee Golden Retriever and Hudson Elks properties to create upper Assabet Greenway.	Park Commission	Ongoing	no funds necessary
	Protect agricultural and open space properties in eastern end of Town on Gospel Hill. Contact landowners to discuss acquisition, conservation restrictions or limited development.	Park Commission	Ongoing	CPA, grants
	Permanently protect these riverfront areas: a. Behind Hudson High to Wood Park, over bridge up River Street b. Next to Wood Park (2.4 acres) c. From Forest Ave to Cherry St Fields d. Priest St (2 parcels total 10 acres) e. Cox St (10 acres across from DPW) f. DPW property and land across river including Riverside Rod and Gun club g. Murphy land	Park Commission	Ongoing	CPA, grants
	Protect lands near Cranberry Well and Maynard Reservoir through acquisition or by restricting development.	Conservation	Ongoing	CPA, grants
	Acquire parcels north of Danforth Lot	Conservation	Ongoing	CPA, grants
	Investigate development of Mulready School land for recreation purposes.	Park Commission and School Dept	Ongoing	Park or School Dept funds

Seven Year Action Plan

Objective	Action	Responsible Party	Time Frame	Potential Funding Source
Create Maintenance programs for existing conservation land	Danforth Falls : Trail cleanup, parking lot improvement, drainage improvements, new trails to Falls Brook Road	Conservation, Scouts, Mosquito Control	Ongoing	no funds necessary
	Loureiro : cleanup, drainage improvements, scenic viewing areas	Conservation	2018	no funds necessary
	Assabet River: new trails, scenic viewing areas	Park Commission	Ongoing	no funds necessary
	Dredge Tripps's and Pickle's Ponds	Conservation/Parks		grant or capital outlay
	Improve Kane and Chestnut Street Well land through forestry programs.	DPW	Ongoing	Recreation/ Conservation town funds
	Promote the planting of shade trees on both public and private property	Conservation	Ongoing	Conservation funds
	Develop reforestation programs for conservation and recreation lands.	Conservation, Park Commission	2017	grants
	Cherry Street Field: Replace playground equipment.. renovate ball field with new fencing and backstop. install spectator seating, irrigation and improve parking area. Open up area for river access and/or views.	Park Commission	2019	CPA funding or Park Commission Capital Outlay
Continue to upgrade existing facilities	Repair lighting at Wood Park and extend over to Apsley Park improving Apsley area along river to protect edge of riverbank.	Park Commission	Ongoing	Park Commission Capital Outlay
	Rejuvenate Centennial Beach picnic grove area and semi-annual addition of sand to the beach area.	Park Commission	2017	Park Commission Capital Outlay
	Improve trails along riverbank behind Morgan Bowl for better access to river.	Park Commission	2017	Park Commission Capital Outlay

Seven Year Action Plan

Objective	Action	Responsible Party	Time Frame	Potential Funding Source
Goal B: Increase recreational opportunities for all residents				
Increase the number of facilities that are accessible to individuals with disabilities.	Evaluate public recreation and conservation areas to determine which areas could be handicap accessible.	Park Commission and local ADA Committee	Ongoing	no funds necessary
	Install level pathways where applicable.	DPW	2017	no funds necessary
	Provide seating at playgrounds and sports fields that is ADA compliant	Park Commission	Ongoing	grants, capital outlay
Increase passive recreational opportunities	Improve access to the Assabet River canoe ramps and add additional ramps.	Park Commission	Ongoing	capital outlay
	Clear brush along trails along Danforth land and add access from Falls Brook Subdivision for mountain biking, cross country skiing and hiking.	Conservation Commission or Eagle Scout Project	2017	no funds necessary
	Investigate improvements to the Rifle Range for hiking trails.	Park/ Conservation Commission	2017	no funds necessary
	Continue renovation of Loureiro and Apsley Park properties for passive recreation purposes and green walkway loop.	Park Commission	Ongoing	no funds necessary
Enhance urban recreational opportunities	Explore potential industrial buildings for use as a community center.	Community Development/ Park Commission	Ongoing	no funds necessary
	Use church halls, private recreation facilities, under utilized industrial buildings, parking lots for additional programming.	Park Commission	Ongoing	no funds necessary
	Explore conversion of underutilized space into a dog park	Park Commission	Ongoing	capital outlay

Seven Year Action Plan

Objective	Action	Responsible Party	Time Frame	Potential Funding Source
Goal C: Promote Community Awareness and Involvement				
Educate the public on the importance of open space and our natural resources	Distribute annual SuAsCo Watershed Community Council brochures "Keeping Stormwater Clean." Make copies available in public places such as Town Hall and the Library.	Conservation	Ongoing	no funds necessary
	Create educational signage along important ecological areas	Conservation	Ongoing	Conservation funds
	Create trail maps, post on website and have available at Conservation and Recreation offices	Conservation	2016	Conservation funds
	Assist schools with conservation education	Conservation	Ongoing	no funds necessary
	Utilize Billerica House of Correction Work Program and Intel Corporation Community Service volunteers for routine seasonal maintenance and installation of playground systems.	Park Commission	Ongoing	no funds necessary
Involve volunteers, probation/criminal justice program personnel, and corporate community service programs	Use volunteers through the United Way program, Boy Scouts, as well as municipal employees as labor force to carry out minimal projects.	Park Commission/Conservation	Ongoing	no funds necessary
	Continue cleanup efforts with OARS, SuAsCo Watershed Community Council and other conservation and civic groups.	Conservation	Ongoing	no funds necessary
	Establish Earth Day Community Cleanup projects	Conservation	Ongoing	no funds necessary
Goal D: Create linkages between Open Space and Recreation Trails				
Work cooperatively with other Towns to link projects and property	Link Clement Kane land on Stony Brook Road to Marlboro's trails on abutting parcel.	Conservation	Ongoing	CPA, grants
	Continue conversations with Bolton for lands north of Danforth Lot.	Conservation	Ongoing	no funds necessary

Seven Year Action Plan

Objective	Action	Responsible Party	Time Frame	Potential Funding Source
Work to create connections between public and private parcels	Encourage and support acquisition of properties surrounding Gates Pond in Berlin.	Conservation	Ongoing	no funds necessary
	Continue to cooperate with Marlboro, Maynard, Stow and Acton for the completion of the AART.	Community Development	Ongoing	no funds necessary
	Work with State agencies to further the development of the Mass Central Rail Trail which will link the western end of Town to agricultural properties, State Forest, White Pond, and Division of Fisheries and Wildlife lands.	Community Development	Ongoing	no funds necessary
	Acquire connections along River Road for better access to the Town Forest (Fosgate Property) and Gates Pond with easements to Assabet River over private property.	Park/ Conservation Commissions	Ongoing	no funds necessary
	Connect River Road properties with Gates Pond and Assabet River.	Park/ Conservation Commissions	Ongoing	CPA, grants
Link public properties within Hudson	Link Gospel Hill lands with well fields and existing recreation facilities.	Park Commission/ DPW	2019	no funds necessary
	Obtain easements from private landowners to link parcels to create greenways (upper Assabet and eastern end of town).		Ongoing	no funds necessary
	Connect Cox Street/Wilkins Street properties with Mulready School land.	Park Commission/ School Dept	2019	no funds necessary
	Link Cherry Street Field with AARRT.	Community Development	2017	no funds necessary
	Investigate conditions, streetscapes and sidewalks within the Town to create links with trails	Community Development	Ongoing	no funds necessary

Seven Year Action Plan

Objective	Action	Responsible Party	Time Frame	Potential Funding Source
Goal 6: Facilitate the implementation of this plan				
Provide Infrastructure to facilitate acquisition of open space and recreation parcels	Use newly adopted zoning by-laws to encourage preservation of open spaces and reuse of existing infrastructure.	Community Development	Ongoing	no funds necessary
	Work with Sudbury valley Trustees to hold Conservation Restrictions.	Community Preservation Commission	2017	no funds necessary
	Form a Land Trust organization to oversee recreation restrictions on Town owned land.	Community Preservation Commission	2017	no funds necessary
Pursue funding opportunities to further the goals and objectives of this plan.	Fund projects through the Community Preservation Act.	Conservation/Parks	Ongoing	no funds necessary
	Use State, Federal and private funding sources.	Conservation/Parks	Ongoing	no funds necessary
	Pursue appropriate grant monies	Conservation/Parks	Ongoing	no funds necessary

X. PUBLIC COMMENTS

1. Letter of review from Hudson Planning Board
2. Letter of review from Hudson Executive Assistant (Chief Municipal Officer)
3. Letter of review from Metropolitan Area Planning Council
4. Letter of review from Hudson Conservation Commission



Town of Hudson
Department of Planning and Community
Development

78 Main Street, Hudson, MA 01749
Tel: (978) 562-2989 Fax: (978) 568-9641
Email: jhunter@townofhudson.org

June 8, 2016

Ms. Melissa Cryan, Grant Manager
Division of Conservation Services
Executive Office of Energy and Environmental Affairs
100 Cambridge Street, Suite 900
Boston, MA 02114

RE: Support for Town of Hudson 2016 Open Space and Recreation Plan

Dear Ms. Cryan:

On June 7, 2017 the Hudson Planning Board listened to a summary presentation of the 2016 Update to the Open Space and Recreation Plan and discussed the Plan with Hudson's Conservation Agent. The Planning Board voted unanimously to support the Plan and its goals and objectives. This Plan will increase the Town's ability to serve the needs of its community with access to new open space and recreation lands and with improvements to existing lands. The goals and action items outlined in this plan will enable the Town to better recognize and pursue important opportunities to protect and enjoy important resources.

Respectfully,

Robert D'Amelio
Chair, Town of Hudson Planning Board



Thomas Moses
Executive Assistant
Town of Hudson
78 Main Street
Hudson, MA 01749
tmoses@townofhudson.org

June 20, 2016

Ms. Melissa Cryan, Grant Manager
Division of Conservation Services
Executive Office of Energy and Environmental Affairs
100 Cambridge Street, Suite 900
Boston, MA 02114

RE: Support for Town of Hudson 2016 Open Space and Recreation Plan

Dear Ms. Cryan:

I have reviewed the 2016 Update to the Open Space and Recreation Plan and support its goals to improve and expand Hudson's conservation and recreation opportunities. Hudson is a growing community and it is important to guide its development in a direction that will enable the protection of valuable resources and offer its residents both passive and active recreation opportunities. This plan identifies key parcels to protect and areas of concern to address, and will help to ensure that Hudson grows in such a way that better serves the needs of all residents.

Sincerely,

Thomas Moses
Town of Hudson Executive Assistant



SMART GROWTH AND REGIONAL COLLABORATION

August 15, 2016

Jack Hunter
Director of Planning and Community Development
Town Hall
78 Main Street
Hudson, MA 01749

Dear Mr. Hunter:

Thank you for submitting the Town of Hudson 2016 Open Space and Recreation Plan to the Metropolitan Area Planning Council (MAPC) for review.

The Division of Conservation Services (DCS) requires that all open space plans must be submitted to the regional planning agency for review. This review is advisory and only DCS has the power to approve a municipal open space plan. While DCS reviews open space plans for compliance with their guidelines, MAPC reviews these plans for their attention to regional issues generally and more specifically for consistency with *MetroFuture*, the regional policy plan for the Boston metropolitan area.

Consistency with *MetroFuture* - *MetroFuture* is the official regional plan for Greater Boston, adopted consistently with the requirements of Massachusetts General Law. The plan includes goals and objectives as well as 13 detailed implementation strategies for accomplishing these goals. We encourage all communities to become familiar with the plan by visiting the web site at <http://www.mapc.org/metrofuture> and scrolling down to the PDF of the implementation strategies.

The Hudson Open Space and Recreation Plan will help to advance several *MetroFuture* goals and implementation strategies that relate specifically to open space, recreation, transportation (bicycle), the Community Preservation Act, and the environment generally.

Surrounding communities - The plan acknowledges Hudson's resource relationship with adjacent towns. In particular, it addresses the importance of the Assabet River in Hudson and the impacts that activities upstream and downstream of Hudson may have on water quality and recreational potential. Additionally, the continued planning and expansion of both the Assabet River Rail Trail and Mass Central Rail Trail – Wayside Branch are discussed. Other shared resources of regional importance are highlighted, including Lake Boon, Danforth Falls, and Fort Meadow Reservoir. Several Action Plan items further address regional collaboration and coordination, including work with regional watershed associations. In fact, the actions prescribed under Goal C – Objective 5 specifically address cooperative efforts to work with other towns to link open space projects.

Moreover, the plan identifies other regional planning efforts such as the *495/MetroWest Development Concept Plan* (see <http://www.mass.gov/hed/economic/eohed/pro/planning/metrowest/495metrowestdevelopmentcompactplan.pdf>) and the identified Priority Preservation Area (PPAs) and Priority Development Areas (PDAs). The Town recently acquired one of the highlighted PPA parcels – the Gerwick Property – and has included other PPA sites in its Action Plan.

The Hudson Open Space and Recreation Plan is thorough and should serve the Town well as it continues its efforts to preserve open space and provide for the recreational needs of its residents.

Thank you for the opportunity to review this plan.

Sincerely,

A handwritten signature in black ink, appearing to read "Marc D. Draisen". The signature is fluid and cursive, with a prominent initial "M" and a long, sweeping underline.

Marc D. Draisen
Executive Director

cc: Melissa Cryan, Division of Conservation Resources



CONSERVATION COMMISSION

78 Main Street, Hudson, MA 01749
(978) 562-2948

Paul Byrne, Chairman Joseph Rodrigues Marianne Iarossi
David Mercer W. Minot Wood Emilie Schuler Catherine Childs

June 23, 2016

Ms. Melissa Cryan, Grant Manager
Division of Conservation Services
Executive Office of Energy and Environmental Affairs
100 Cambridge Street, Suite 900
Boston, MA 02114

RE: Support for Town of Hudson 2016 Open Space and Recreation Plan

Dear Ms. Cryan:

The Hudson Conservation Commission is pleased to endorse the 2016 update to the Open Space and Recreation Plan. The Commission voted unanimously on March 3, 2016 to approve the plan with its newly updated goals, objectives, and implementation strategies that support the protection of open space and natural resources. This plan will increase the community's ability to acquire new open space and maintain existing preserved lands. The strategies outlined in this plan will enable the town to better recognize and pursue important opportunities to protect valuable resources.

Respectfully,

Paul Byrne
Chair, Town of Hudson Conservation Commission

Town of Hudson, Protective Zoning By-laws, available at
http://www.townofhudson.org/Public_Documents/HudsonMA_WebDocs/Zoning%20By-Laws%20Nov.%2016,%202015-AppendixA.pdf

Upper Assabet Riverway Plan, Chapter 9: Town of Hudson (2003) available at
<http://www.oars3rivers.org/sites/default/files/hudson.pdf>

UrbanRiver Visions, Hudson Charrette, Summary Report (2002) available at
http://www.townofhudson.org/Public_Documents/HudsonMA_ComDev/Urban-River/URVReport.pdf

Appendix A – Open Space and Recreation Survey

During our last OSRP submission in 2012, we notified the Executive Office of Energy & Environmental Affairs of our forthcoming Master Plan process. We were subsequently notified that as long as there were public input meetings/events specifically on open space and recreation issues, we would be allowed to use those forums as the Town’s public input process for this iteration of the OSRP.

During the Master Planning process which began in May of 2012 & concluded in December 2014, a general survey was distributed giving residents the opportunity to give their opinion of six issues. Three hundred eighty (380) people responded. Two of those questions dealt directly with open space and Recreation.

Do you favor or oppose purchasing farmlands, forests and open space for conservation?

- Results:
- a. Oppose, not needed – 7%
 - b. Favor, but not with higher taxes – 53%
 - c. Favor, even with higher taxes – 39%
 - d. Not sure/other – 2%

Are you satisfied or dissatisfied with the amount of recreation facilities such as parks, playgrounds and ball fields?

- Results:
- a. Very satisfied – 39%
 - b. Somewhat satisfied – 32%
 - c. Neutral – 16%
 - d. Not very satisfied – 12%
 - e. Very unsatisfied – 2%

Additionally, the most important priorities for the Town regarding the Assabet River were to “Connect trails with the riverfront area” and “Acquire more land to protect the water resource.”

In responding to “*What is the best way that the Town can protect public health?*”, respondents picked – “Increase walking and bicycling opportunities.”

A second, more in-depth survey was developed to gain input regarding the Open Space and Natural Resources section of the Master Plan. This survey reached over 4,000 individuals through a variety of email sources including the Hudson Recreation on-line registration website and school e-news letters. With the survey ending July 24, 2013 – 349 individuals responded.

Respondents considered preserving, protecting and enhancing land around water supplies, wells and aquifers as a high priority along with acquiring and expanding areas of open space and recreation.

Recreation facilities receiving votes of high importance were an indoor swimming pool, multi-use public gymnasium and fitness center.

Open Space and Recreation Survey – Summary of Results

GOALS AND OBJECTIVES	High Priority	Medium Priority	Low Priority	No Opinion
Preserve, Protect and Enhance Hudson’s Natural Resources.				
Preserve, protect and enhance land around water supplies, wells and aquifer.	68.5%			
Identify future sites for water wells.		43.3%		
Acquire, expand and enhance those areas for open space and recreation.	59.3%			
Improve water quality of streams, lakes, ponds and the Assabet River.	55.9%			
Protect agricultural properties.		40.1%		
Establish a Healthy Balance Between Development and Open Space.				
Create buffers between built environment and natural open land.		45.7%		
Enhance the existing scenic and natural areas through maintenance programs.		43.6%		
Establish areas for enjoyment and recreational access to natural environment.	58.2%			
Acquire scenic connectors or threatened parcels .		40.5%		
Steer development into areas developed with adequate infrastructure.	44.2%			
Provide a Wide Range of Recreation Opportunities for all Residents.				
Upgrade existing equipment at present recreation facilities.		43.6%		
Encourage multi purpose use of facilities.		44.9%		
Expand facilities by acquiring lands adjacent to schools, recreation and conservation land.	45.8%			
Increase the number of facilities that are accessible to individuals.		41.7%		
Improve open space areas for recreation purposes.	53.5%			
Expand program offerings by using privately owned lands and buildings.		39.1%		
Create more trail areas that benefit all segments of the community.	41.3%			
Partner with non-profits or acquire easements to link with Town lands.		40.1%		
Enhance urban design to foster economic development through recreation opportunities.		43.9%		
Link open space and recreation in Hudson with those of surrounding communities.		37.5%		
Increase the number of facilities and opportunities for individuals with disabilities.		42.9%		
Management and Administration				
Enhance administrative capacity by adding staff.			41.9%	
Maintain existing Town land.	50.3%			
Rotate field use and resting fields seasonally.		42.9%		
Use Community Preservation Act to further the above goals and objectives.		37.3%		

Please rate the following recreation opportunities of interest to you and your family

1 – High Importance 2 – Moderate 3 – Low Importance 4 – No Opinion

Community Center	
Indoor swimming pool	HIGH 43.2%
Outdoor swimming pool	
Multi-use public gymnasium	HIGH 47.9%
Fitness center	HIGH 39.3%
Classrooms	
Climbing wall	
Stage/Theater area	
Teen area	
Boat launch areas for canoes, kayaks and sail boats	
Assabet River	HIGH 42.6%
Fort Meadow Reservoir	
Centennial Beach	
Dog park	LOW
Walking trails in conservation areas	HIGH 53.8%
Park Amenities	
Outdoor fitness course	MOD
Playground equipment for under 5 years of age	MOD
Basketball courts	MOD
Arts and Humanities	
Theater	MOD
Music	MOD
Band	MOD
Art Classes	MOD

Appendix B: ADA Access Self Evaluation

As part of Hudson's Open Space and Recreation Plan, Hudson's recreation facilities and publically accessible conservation facilities were assessed to determine the level of compliance with the Americans with Disabilities Act (ADA). An ADA inventory form was completed for each of the town-owned recreation and conservation parcels which have public access. This section includes a cover page with a brief description, notes from the "Existing Facilities Transition Plan" from 2010, a map, and pictures of each facility, followed by the completed inventory form.

1. Apsley Park – Port Street
2. Boutwell Fields– 119 Chapin Road
3. Celluci Park – 29 South Street
4. Centennial Beach – 89 Fort Meadow Drive
5. Cherry Street Fields – 61 Cherry Street
6. Danforth Lot/Mayo Property/Parcel P – Lincoln Street
7. Farina Field – 72 Cox Street
8. Intel Field – 92 Technology Drive
9. Liberty Park – 5 Washington Street
10. Loureiro Land (Community Garden) – 6 Port Street
11. Moulton's Field – 21 Marion Street
12. O'Donnell Fields/Fossile Field – 69 Brigham Street
13. Riverside Complex/Morgan Bowl – 121 Chapin Road
14. Sauta Complex – 538 Main Street
15. Tripps Pond/Lansom Park – 89 River Street
16. Warren Chamberlain Rinks – 1 Municipal Drive
17. Wood Park – 65 Park Street

Apsley Park

Soccer fields accessed through the Portuguese Club on 13 Port Street. There are handicap-accessible parking spaces near the building and room to disembark by the field entrance, although the spaces near the field are not marked.



Apsley Park ADA Worksheet

PARKING			
Total Spaces		Required Accessible Spaces	
Up to 25	1 space		
26-50	2 spaces	no handicap accessible spaces located adjacent to the ballfield. All spaces are located at the entrance to the Portuguese Club building. The Portuguese Club is located	
51-75	3 spaces		
76-100	4 spaces		
101-150	5 spaces		
151-200	6 spaces		
Specifications for Accessible Spaces	Yes	No	Comments
Accessible space located closest to accesible entrance		x	
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided		x	
Minimum width of 13 ft includes 8ft space plus 5ft access aisle		x	
Van spaces- minimum of 1 space for every accessible space.		x	
Sign with international symbol of accessibily at each space or pair of spaces		x	
Sign minimum 5ft , maximum 8 ft to top of the sign		x	
Surface evenly paved or hard-packed		x	
Surface slope less than 1: 20, 5%		x	
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present		x	
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yellow		x	
RAMP			
Specification	Yes	No	Comments/Transition Notes
Slope Maximum 1:12			
Minimum width 4ft between handrails			
Handrails on both sides if ramp is longer than 6ft			
Handrails at 34" and 19" from ramp surface			
Handrails extend 12" beyond top and bottom			
Handgrip oval or round			
Handgrip diameter between 1 1/4" and 2 "			
Clearance of 1 1/2 between wall and wall rail			
Non slip surface			
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction			
SITE ACCESS, PATH OF TRAVEL, ENTRANCES			
Site Access			

Apsley Park ADA Worksheet

Specification	Yes	No	Comments or Transition Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance		X	There are parking spaces adjacent to the ballfield but none are designated as
Disembarking areas at accessible entrance		X	
Surface evenly paved or hard-packed		X	
No ponding water	X		
Paths of Travel			
Specification	Yes	No	Comments or Transition Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant	x		There are parking spaces adjacent to the ballfield but none are designated as handicapped. However, the entrance path into the ballfield has a flat, even surface. Although it does not meet ADA requirements, folks with a disability can reasonably access the field.
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch	x		
Any objects protruding onto the pathway must be detected by a person with a visual disability	x		
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas	x		
Curb on the driveway must have curb cuts at drives parking	x		
Entrances			
Specification	Yes	No	Comments or Transition Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and <u>not be the primary entrance</u>			n/a
Level space extending 5ft from the door, interiors and exterior of entrance doors.			n/a
Minimum 32" clear width opening			n/a
<u>At least 18" clear floor area on latch pull side of the door</u>			n/a
Door handle no higher than 48" and operable with a closed fist			n/a
Vestibule is 4 ft plus width of the door swinging into the space			n/a
Entrance (s) on a level that makes elevators accessible			n/a
Door mats less than 1/2" thick are securely fastened			n/a
Door mats more than 1/2" thick are recessed			n/a
Grates in path of travel have openings of 1/2" maximum			n/a
Signs at non-accessible entrance (s) indicate direction to <u>accessible entrance</u>			n/a
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			n/a
STAIRS AND DOORS			

Apsley Park ADA Worksheet

Specification	Yes	No	Comments/Exception Notes
Stairs			
Specification	Yes	No	Comments/Exception Notes
No open risers			n/a
Nosings not projecting			n/a
Treads less than 11" wide			n/a
Handrails on both sides			n/a
Handrails 34' x 38' above tread			n/a
Handrail extends a minimum of 1ft beyond top and bottom riser			n/a
Handgrip oval or round			n/a
Handgrip has a smooth surface			n/a
Handgrip diameter between 1 1/4" and 1 1/2 "			n/a
1 1/2" clearance between handrail			n/a
Doors			
Specification	Yes	No	Comments/Exception Notes
Minimum 32" clear opening			n/a
At least 18" clear floor space on pull side of the door			n/a
Closing speed minimum 3 second to within 3" of the latch			n/a
Maximum pressure 5 pounds interior doors			n/a
Threshold maximum 1/2" high beveled on both sides			n/a
Hardware operable minimum 36" maximum 48" to top of the floor			n/a
Clear level floor space extends out 5ft from both sides of the door			n/a
Door adjacent to revolving door is accessible and unlocked			n/a
Doors opening into hazardous area have hardware that is			n/a
RESTROOMS- See standards for doors and vestibules			
Specification	Yes	No	Comments/Exception Notes
5 ft turning space measure 12" from the door			n/a
At least one sink			
Specification	Yes	No	Comments/Exception Notes
Clear floor space of 30" by 48"to allow a forward movement			n/a
Mounted without pedestal or legs height 34" to top of rim			n/a
Extends at least 22" from the wall			n/a
Open knee space a minimum 19" deep 30" width and 27" high			n/a
Cover exposed pipes with insulation			n/a
Facuets operable with closed fists (level or spring activated handle			n/a
At least one stall			

Apsley Park ADA Worksheet

Specification	Yes	No	Comments/Transition Notes
Specification	Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"			n/a
Stall door is 36" wide			n/a
Stall door swings out			n/a
Stall door has a pull latch			n/a
Lock on stall door is operable with a closed fist and 32"			n/a
Coat hook is 54"high			n/a
Stall door has a pull latch			n/a
Toilet			
Specification	Yes	No	Comments/Transition Notes
18" from center to nearest side wall			n/a
43" minimum clear space from center to farthest wall or fixture			n/a
Top of seat 17-19" above the floor			n/a
Grab Bars			
Specification	Yes	No	Comments/Transition Notes
On back and side wall closest to toilet			n/a
1 1/4" diameter			n/a
1 1/2"clearance to the wall			n/a
Located 30" above and parallel to the floor			n/a
42" long			n/a
Dispenseners (soaps, paper towels) at least one of each a maximum 42" above the floor			n/a
Drinking Fountains			
Specification	Yes	No	Comments/Transition Notes
Spouts no higher than 36" from floor to outlet			n/a
Hand operated push button or level controls			n/a
Spouts located near front with stream of water as parallel			n/a
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			n/a
If clear knee space underneath clear floor 30" x48" to allow parallel approach			n/a

Boutwell Fields

Town Little League fields, shares parking with the Riverside Complex at the High School across the street

Notes from Transition Plan: Add ramp and path for spectators to B3.



PARKING				
Space Range	Number of Spaces/ADA Spaces			
Up to 25	1 space			
26-50	2 spaces		there are no handicap spaces. Handicap spaces are located across the street at the high school fields	
51-75	3 spaces			
76-100	4 spaces			
101-150	5 spaces			
151-200	6 spaces			
Compliance for Accessible Spaces		Yes	No	Comments
Accessible space located closest to accesible entrance			x	
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided			x	It should be noted that the signs and spaces across the street meet these standards
Minimum width of 13 ft includes 8ft space plus 5ft access aisle			x	
Van spaces- minimum of 1 space for every accessible space.			x	
Sign with international symbol of accessibily at each space or pair of spaces			x	
Sign minimum 5ft , maximum 8 ft to top of the sign			x	
Surface evenly paved or hard-packed			x	
Surface slope less than 1: 20, 5%			x	
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present			X	Crosswalk connnecting Riverside Park and the high school fields does
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yellow		N/A		
RAMPS				
Requirement	Yes	No	Comments/Transition Notes	
Slope Maximum 1:12	N/A			
Minimum width 4ft between handrails	N/A			
Handrails on both sides if ramp is longer than 6ft	N/A			
Handrails at 34" and 19" from ramp surface	N/A			
Handrails extend 12" beyond top and bottom	N/A			
Handgrip oval or round	N/A			
Handgrip diameter between 1 1/4" and 2 "	N/A			
Clearance of 1 1/2 between wall and wall rail	N/A			
Non slip surface	N/A			
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction	N/A			
SITE ACCESS, PATH OF TRAVEL, ENTRANCES				
Site Access				
Specifications	Yes	No	Comments/Transition Notes	

Boutwell Fields ADA Worksheet

Identification	Yes	No	Comments or "Yes/No/Not Applicable"
Accessible path of travel from passenger disembarking area and parking area to accessible entrance		x	No internal handicap accessible pathway between the two ballfields.
Disembarking areas at accessible entrance		x	
Surface evenly paved or hard-packed		x	
No ponding water		x	
Paths of Travel			
Identification	Yes	No	Comments/Transition Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant		x	
3 foot wide minimum	x		Internal pathways are dirt surfaces
Continuous common surfaces no changes in level greater than 1/2 inch		x	
Any objects protruding onto the pathway must be detected by a person with a visual disability	x		
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas	x		
Curb on the driveway must have curb cuts at drives parking		x	
Entrances			
Identification	Yes	No	Comments/Transition Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and not be the primary entrance		x	
Level space extending 5ft from the door, interiors and exterior of entrance doors.	N/A		
Minimum 32" clear width opening	N/A		
At least 18" clear floor area on latch pull side of the door	N/A		
Door handle no higher than 48" and operable with a closed fist	N/A		
Vestibule is 4 ft plus width of the door swinging into the space	N/A		
Entrance (s) on a level that makes elevators accessible	N/A		
Door mats less than 1/2" thick are securely fastened	N/A		
Door mats more than 1/2" thick are recessed	N/A		
Grates in path of travel have openings of 1/2" maximum	N/A		
Signs at non-accessible entrance (s) indicate direction to accessible entrance	N/A		
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted	N/A		
STAIRS AND DOORS			
Stairs			
Identification	Yes	No	Comments/Transition Notes
No open risers	N/A		
Nosings not projecting	N/A		
Treads less than 11" wide	N/A		
Handrails on both sides	N/A		

Boutwell Fields ADA Worksheet

Specification		Yes	No	Comments/Exception Notes
Handrails 34' x 38' above tread		N/A		
Handrail extends a minimum of 1ft beyond top and bottom riser		N/A		
Handgrip oval or round		N/A		
Handgrip has a smooth surface		N/A		
Handgrip diameter between 1 1/4" and 1 1/2 "		N/A		
1 1/2" clearance between handrail		N/A		
Down				
Specification		Yes	No	Comments/Exception Notes
Minimum 32" clear opening		N/A		
At least 18" clear floor space on pull side of the door		N/A		
Closing speed minimum 3 second to within 3" of the latch		N/A		
Maximum pressure 5 pounds interior doors		N/A		
Threshold maximum 1/2" high beveled on both sides		N/A		
Hardware operable minimum 36" maximum 48" to top of the floor		N/A		
Clear level floor space extends out 5ft from both sides of the door		N/A		
Door adjacent to revolving door is accessible and unlocked		N/A		
Doors opening into hazardous area have hardware that is		N/A		
RESTROOMS- See standards for doors and vestibules				
Specification		Yes	No	Comments/Exception Notes
5 ft turning space measure 12" from the door				
At least one sink				
Specification		Yes	No	Comments/Exception Notes
Clear floor space of 30" by 48"to allow a forward movement		x		
Mounted without pedestal or legs height 34" to top of rim			x	sink is located too high
Extends at least 22" from the wall			x	
Open knee space a minimum 19" deep 30" width and 27" high		x		
Cover exposed pipes with insulation			x	exposed pipes are present
Facuets operable with closed fists (level or spring activated handle			x	
At least one toilet				
Specification		Yes	No	Comments/Exception Notes
Accessible to person using wheelchair at 60" wide by 72"			x	
Stall door is 36" wide		N/A		Single one-person bathroom/no stalls
Stall door swings out		N/A		
Stall door has a pull latch		N/A		
Lock on stall door is operable with a closed fist and 32"		N/A		

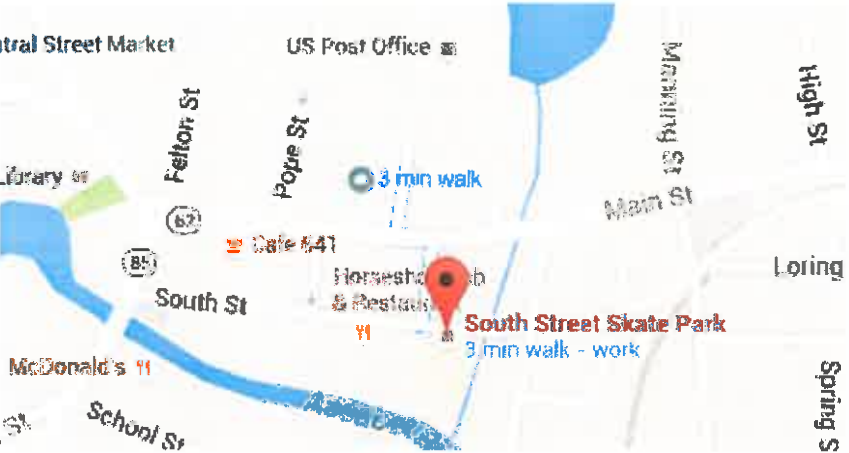
Boutwell Fields ADA Worksheet

Specifications	Yes	No	Comments/Exception Notes
Coat hook is 54" high	N/A		
Stall door has a pull latch	N/A		
Toilet			
Specifications	Yes	No	Comments/Exception Notes
18" from center to nearest side wall	x		non ADA-compliant toilet
43" minimum clear space from center to farthest wall or fixture		x	
Top of seat 17-19" above the floor		x	
Grab Bars			
Specifications	Yes	No	Comments/Exception Notes
On back and side wall closest to toilet	N/A		No grab bars present
1 1/4" diameter	N/A		
1 1/2" clearance to the wall	N/A		
Located 30" above and parallel to the floor	N/A		
42" long	N/A		
Dispensers (soaps, paper towels) at least one of each a maximum 42" above the floor	N/A		
Drinking Fountains			
Specifications	Yes	No	Comments/Exception Notes
Spouts no higher than 36" from floor to outlet	N/A		
Hand operated push button or level controls	N/A		
Spouts located near front with stream of water as parallel	N/A		
If recessed, recess a minimum of 30" width and no deeper than depth of fountain	N/A		
If clear knee space underneath clear floor 30" x48" to allow parallel approach	N/A		

Cellucci Park

A skate and splash park near Downtown. Benches near the play areas are accessible.

Notes from Transition Plan: Keep walkways free of debris for accessibility



Cellucci Park ADA worksheet

PARKING				
Number of Spaces		Minimum Accessible Spaces		
Up to 25	1 space	4 accessible spaces are provided		
26-50	2 spaces			
51-75	3 spaces			
76-100	4 spaces			
101-150	5 spaces			
151-200	6 spaces			
Compliance with Minimum Criteria		Yes	No	Comments
Accessible space located closest to accesible entrance		x		Two are provided at the South Street entrance and two are provided at the Houghton St lot
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided		x		
Minimum width of 13 ft includes 8ft space plus 5ft access aisle		x		
Van spaces- minimum of 1 space for every accessible space.			x	
Sign with international symbol of accessibily at each space or pair of spaces		x		
Sign minimum 5ft , maximum 8 ft to top of the sign		x		
Surface evenly paved or hard-packed		x		
Surface slope less than 1: 20, 5%		x		
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present		x		
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yelllow		x		
RAMPS				
Compliance	Yes	No	Comments/Transition Notes	
Slope Maximum 1:12	N/A			
Minimum width 4ft between handrails	N/A			
Handrails on both sides if ramp is longer than 6ft	N/A			
Handrails at 34" and 19" from ramp surface	N/A			
Handrails extend 12" beyond top and bottom	N/A			
Handgrip oval or round	N/A			
Handgrip diameter between 1 1/4" and 2 "	N/A			
Clearance of 1 1/2 between wall and wall rail	N/A			
Non slip surface	N/A			
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction	N/A			
SITE ACCESS, PATH OF TRAVEL, ENTRANCES				
Site Access				
Compliance	Yes	No	Comments/Transition Notes	

Cellucci Park ADA worksheet

Open/Question	Yes	No	Comments/Transition Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance	x		Located at the South Street parking lot
Disembarking areas at accessible entrance	x		
Surface evenly paved or hard-packed	x		
No ponding water	x		
Paths of Travel			
Open/Question	Yes	No	Comments/Transition Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant	x		
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch	x		
Any objects protruding onto the pathway must be detected by a person with a visual disability	x		
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas	x		
Curb on the driveway must have curb cuts at drives parking	x		
Entrances			
Open/Question	Yes	No	Comments/Transition Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and not be the primary entrance	x		
Level space extending 5ft from the door, interiors and exterior of entrance doors.	N/A		
Minimum 32" clear width opening	N/A		
At least 18" clear floor area on latch pull side of the door	N/A		
Door handle no higher than 48" and operable with a closed fist	N/A		
Vestibule is 4 ft plus width of the door swinging into the space	N/A		
Entrance (s) on a level that makes elevators accessible	N/A		
Door mats less than 1/2" thick are securely fastened	N/A		
Door mats more than 1/2" thick are recessed	N/A		
Grates in path of travel have openings of 1/2" maximum	N/A		
Signs at non-accessible entrance (s) indicate direction to accessible entrance	N/A		
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted	N/A		
STAIRS AND DOORS			
Stairs			
Open/Question	Yes	No	Comments/Transition Notes
No open risers	N/A		
Nosings not projecting	N/A		
Treads less than 11" wide	N/A		
Handrails on both sides	N/A		

Cellucci Park ADA worksheet

Stairways		Yes	No	Comments/Transition Notes
Handrails 34' x 38' above tread		N/A		
Handrail extends a minimum of 1ft beyond top and bottom riser		N/A		
Handgrip oval or round		N/A		
Handgrip has a smooth surface		N/A		
Handgrip diameter between 1 1/4" and 1 1/2 "		N/A		
1 1/2" clearance between handrail		N/A		
Doors				
Specifications		Yes	No	Comments/Transition Notes
Minimum 32" clear opening		N/A		
At least 18" clear floor space on pull side of the door		N/A		
Closing speed minimum 3 second to within 3" of the latch		N/A		
Maximum pressure 5 pounds interior doors		N/A		
Threshold maximum 1/2" high beveled on both sides		N/A		
Hardware operable minimum 36" maximum 48" to top of the floor		N/A		
Clear level floor space extends out 5ft from both sides of the door		N/A		
Door adjacent to revolving door is accessible and unlocked		N/A		
Doors opening into hazardous area have hardware that is				
RESTROOMS- See standards for doors and vestibules				
Specifications		Yes	No	Comments/Transition Notes
5 ft turning space measure 12" from the door		N/A		
As large as sink				
Sink location		Yes	No	Comments/Transition Notes
Clear floor space of 30" by 48"to allow a forward movement		N/A		
Mounted without pedestal or legs height 34" to top of rim		N/A		
Extends at least 22" from the wall		N/A		
Open knee space a minimum 19" deep 30" width and 27" high		N/A		
Cover exposed pipes with insulation		N/A		
Facuets operable with closed fists (level or spring activated handle		N/A		
At least one stall				
Specifications		Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"		N/A		
Stall door is 36" wide		N/A		
Stall door swings out		N/A		
Stall door has a pull latch		N/A		
Lock on stall door is operable with a closed fist and 32"		N/A		

Cellucci Park ADA worsheet

Handicap Access	Yes	No	Comments/Transition Notes
Coat hook is 54"high	N/A		
Stall door has a pull latch	N/A		
Toilet			
Is the toilet depth	Yes	No	Comments/Transition Notes
18" from center to nearest side wall	N/A		
43" minimum clear space from center to farthest wall or fixture	N/A		
Top of seat 17-19" above the floor	N/A		
Grab Bars			
Is the grab bar	Yes	No	Comments/Transition Notes
On back and side wall closest to toilet	N/A		
1 1/4" diameter	N/A		
1 1/2" clearance to the wall	N/A		
Located 30" above and parallel to the floor	N/A		
42" long	N/A		
Dispenseners (soaps, paper towels) at least one of each a maximum 42" above the floor	N/A		
Drinking Fountain			
Is the fountain	Yes	No	Comments/Transition Notes
Spouts no higher than 36" from floor to outlet	N/A		
Hand operated push button or level controls	N/A		
Spouts located near front with stream of water as parallel	N/A		
If recessed, recess a minimum of 30" width and no deeper than depth of fountain	N/A		
If clear knee space underneath clear floor 30" x48" to allow parallel approach	N/A		

Centennial Beach

Town Beach on Fort Meadow Reservoir. Area is wooded with walking trails. There is a sidewalk from the handicap-accessible parking spots to the beach, but the restrooms are not ADA compliant.

Notes from Transition Plan: Repair erosion around handicap access ramp. Ensure restrooms have correct hand mechanisms.



Centennial Beach ADA Worksheet

PARKING			
Required Spaces	Required Accessible Spaces		
Up to 25	1 space		
26-50	2 spaces		
51-75	3 spaces		
76-100	4 spaces		2 spaces
101-150	5 spaces		
151-200	6 spaces		
Specification for Accessible Spaces	Yes	No	Comments
Accessible space located closest to accesible entrance	x		
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided			NA
Minimum width of 13 ft includes 8ft space plus 5ft access aisle	x		
Van spaces- minimum of 1 space for every accessible space.	x		
Sign with international symbol of accessibily at each space or pair of spaces	x		
Sign minimum 5ft , maximum 8 ft to top of the sign	x		
Surface evenly paved or hard-packed	x		
Surface slope less than 1: 20, 5%	x		
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present	x		
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yellow	x		
RAMPS			
Specification	Yes	No	Comments/Transition Notes
Slope Maximum 1:12			NA
Minimum width 4ft between handrails			NA
Handrails on both sides if ramp is longer than 6ft			NA
Handrails at 34" and 19" from ramp surface			NA
Handrails extend 12" beyond top and bottom			NA
Handgrip oval or round			NA
Handgrip diameter between 1 1/4" and 2 "			NA
Clearance of 1 1/2 between wall and wall rail			NA
Non slip surface			NA
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction			NA
SIDE ACCESS, PATH OF TRAVEL, ENTRANCES			
Side Access			
Specification	Yes	No	Comments/Transition Notes

Centennial Beach ADA Worksheet

Requirement	Yes	No	Comments/Exception Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance	x		
Disembarking areas at accessible entrance	x		
Surface evenly paved or hard-packed	x		
No ponding water	x		
Paths of Travel			
Requirement	Yes	No	Comments/Exception Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant	x		
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch	x		
Any objects protruding onto the pathway must be detected by a person with a visual disability	x		
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas	x		
Curb on the driveway must have curb cuts at drives parking	x		
Entrances			
Requirement	Yes	No	Comments/Exception Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and <u>not be the primary entrance</u>			NA
Level space extending 5ft from the door, interiors and exterior of entrance doors.			NA
Minimum 32" clear width opening			NA
<u>At least 18" clear floor area on latch pull side of the door</u>			NA
Door handle no higher than 48" and operable with a closed fist			NA
Vestibule is 4 ft plus width of the door swinging into the space			NA
Entrance (s) on a level that makes elevators accessible			NA
Door mats less than 1/2" thick are securely fastened			NA
Door mats more than 1/2" thick are recessed			NA
Grates in path of travel have openings of 1/2" maximum			NA
Signs at non-accessible entrance (s) indicate direction to <u>accessible entrance</u>			NA
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			NA
STAIRS AND DOORS			
Stairs			
Requirement	Yes	No	Comments/Exception Notes
No open risers			NA
Nosings not projecting			NA
Treads less than 11" wide			NA
Handrails on both sides			NA

Centennial Beach ADA Worksheet

Specification		Yes	No	Comments/Transition Notes
Handrails 34' x 38' above tread				NA
Handrail extends a minimum of 1ft beyond top and bottom riser				NA
Handgrip oval or round				NA
Handgrip has a smooth surface				NA
Handgrip diameter between 1 1/4" and 1 1/2 "				NA
1 1/2" clearance between handrail				NA
Doors				
Specification		Yes	No	Comments/Transition Notes
Minimum 32" clear opening				NA
At least 18" clear floor space on pull side of the door				NA
Closing speed minimum 3 second to within 3" of the latch				NA
Maximum pressure 5 pounds interior doors				NA
Threshold maximum 1/2" high beveled on both sides				NA
Hardware operable minimum 36" maximum 48" to top of the floor				NA
Clear level floor space extends out 5ft from both sides of the door				NA
Door adjacent to revolving door is accessible and unlocked				NA
Doors opening into hazardous area have hardware that is				NA
RETRUDORS- See standards for doors and vestibules				
Specification		Yes	No	Comments/Transition Notes
5 ft turning space measure 12" from the door			x	narrow doorway enclosure
At least one sink				
Specification		Yes	No	Comments/Transition Notes
Clear floor space of 30" by 48"to allow a forward movement			x	
Mounted without pedestal or legs height 34" to top of rim			x	
Extends at least 22" from the wall			x	
Open knee space a minimum 19" deep 30" width and 27" high			x	
Cover exposed pipes with insulation			x	
Facuets operable with closed fists (level or spring activated handle			x	
At least one stall				
Specification		Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"			x	
Stall door is 36" wide			x	
Stall door swings out			x	
Stall door has a pull latch			x	
Lock on stall door is operable with a closed fist and 32"			x	

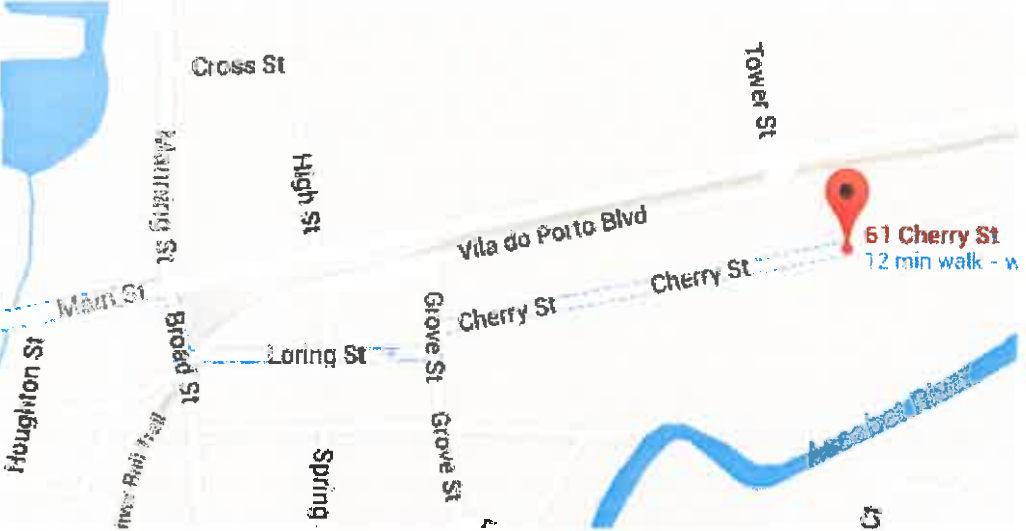
Centennial Beach ADA Worksheet

Section	Yes	No	Comments/Exception Notes
Toilet			
Coat hook is 54" high		x	
Stall door has a pull latch		x	
Grab Bars			
18" from center to nearest side wall		x	
43" minimum clear space from center to farthest wall or fixture		x	
Top of seat 17-19" above the floor		x	
Drinking Fountains			
On back and side wall closest to toilet		x	
1 1/4" diameter		x	
1 1/2" clearance to the wall		x	
Located 30" above and parallel to the floor		x	
42" long		x	
Dispensers (soaps, paper towels) at least one of each a maximum 42" above the floor		x	
Drinking Fountains			
Spouts no higher than 36" from floor to outlet			NA
Hand operated push button or level controls			NA
Spouts located near front with stream of water as parallel			NA
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			NA
If clear knee space underneath clear floor 30" x48" to allow parallel approach			NA

Cherry Street Fields

Soccer and baseball fields with an aging play area. There is no marked parking but there is room to park near the entrance and the surface is hard packed.

Notes from Transition Plan: Add a parking space on Cherry Street near entrance, remove chain barrier leaving 36" wide entrance, add path along right side to ballfield viewing area and playground equipment, update playground equipment.



Cherry Street Field ADA Worksheet

PARKING			
Vehicle Spaces	Required Accessible Spaces		
Up to 25	1 space	No marked spaces of any kind	
26-50	2 spaces		
51-75	3 spaces		
76-100	4 spaces		
101-150	5 spaces		
151-200	6 spaces		
Check for items for accessible spaces	Yes	No	Comments
Accessible space located closest to accesible entrance	x		plenty of room to park by entrance
When spaces cannot be located within 200 feet of accessible entrance, drop off space provided			
Minimum width of 13 ft includes 8ft space plus 5ft access aisle			NA
Van spaces- minimum of 1 space for every accessible space.	x		
Sign with international symbol of accessibily at each space or pair of spaces		x	
Sign minimum 5ft , maximum 8 ft to top of the sign		x	
Surface evenly paved or hard-packed	x		hard packed
Surface slope less than 1: 20, 5%	x		
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present			no curb
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yellow			NA
RAMPS			
Specification	Yes	No	Comments/Transition Notes
Slope Maximum 1:12			NA
Minimum width 4ft between handrails			NA
Handrails on both sides if ramp is longer than 6ft			NA
Handrails at 34" and 19" from ramp surface			NA
Handrails extend 12" beyond top and bottom			NA
Handgrip oval or round			NA
Handgrip diameter between 1 1/4" and 2 "			NA
Clearance of 1 1/2 between wall and wall rail			NA
Non slip surface			NA
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction			NA
SITE ACCESS, PATH OF TRAVEL, ENTRANCES			
Site Access			
Specification	Yes	No	Comments/Transition Notes

Cherry Street Field ADA Worksheet

Specification	Yes	No	Comments/Transition Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance	x		hard packed
Disembarking areas at accessible entrance	x		
Surface evenly paved or hard-packed	x		hardpacked
No ponding water	x		
Paths of Travel			
Specification	Yes	No	Comments/Transition Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant	x		
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch	x		
Any objects protruding onto the pathway must be detected by a person with a visual disability			no objects protruding
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas			NA
Curb on the driveway must have curb cuts at drives parking			no curb
Entrances			
Specification	Yes	No	Comments/Transition Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and <u>not be the primary entrance</u>			NA
Level space extending 5ft from the door, interios and exterior of entrance doors.			NA
Minimum 32" clear width opening			NA
<u>At least 18" clear floor area on latch pull side of the door</u>			NA
Door handle no higher than 48" and operable with a closed fist			NA
Vestibule is 4 ft plus width of the door swinging into the space			NA
Entrance (s) on a level that makes elevators accessible			NA
Door mats less than 1/2" thick are securely fastened			NA
Door mats more than 1/2" thick are recessed			NA
Grates in path of travel have openings of 1/2" maximum			NA
Signs at non-accessible entrance (s) indicate direction to <u>accessible entrance</u>			NA
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			NA
STAIRS AND DOORS			
Stairs			
Specification	Yes	No	Comments/Transition Notes
No open risers			
Nosings not projecting			
Treads less than 11" wide			
Handrails on both sides			

Cherry Street Field ADA Worksheet

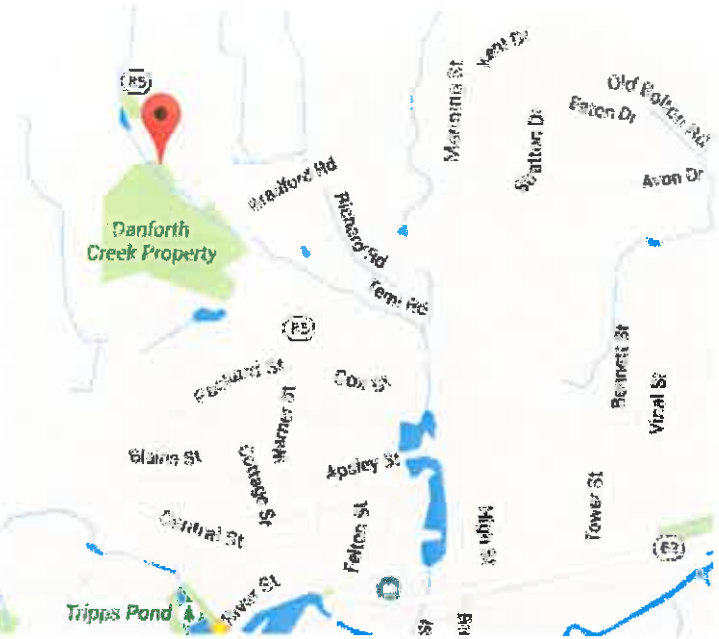
Grab Bars		Yes	No	Comments/Transition Notes
Handrails 34' x 38' above tread				
Handrail extends a minimum of 1ft beyond top and bottom riser				
Handgrip oval or round				
Handgrip has a smooth surface				
Handgrip diameter between 1 1/4" and 1 1/2 "				
1 1/2" clearance between handrail				
Doors				
Door Function		Yes	No	Comments/Transition Notes
Minimum 32" clear opening				NA
At least 18" clear floor space on pull side of the door				NA
Closing speed minimum 3 second to within 3" of the latch				NA
Maximum pressure 5 pounds interior doors				NA
Threshold maximum 1/2" high beveled on both sides				NA
Hardware operable minimum 36" maximum 48" to top of the floor				NA
Clear level floor space extends out 5ft from both sides of the door				NA
Door adjacent to revolving door is accessible and unlocked				NA
Doors opening into hazardous area have hardware that is				NA
RESTROOMS- See standards for doors and vestibules				
Turn Space		Yes	No	Comments/Transition Notes
5 ft turning space measure 12" from the door				NA
At least one stall				
Toilet Function		Yes	No	Comments/Transition Notes
Clear floor space of 30" by 48"to allow a forward movement				NA
Mounted without pedestal or legs height 34" to top of rim				NA
Extends at least 22" from the wall				NA
Open knee space a minimum 19" deep 30" width and 27" high				NA
Cover exposed pipes with insulation				NA
Facuets operable with closed fists (level or spring activated handle				NA
At least one stall				
Toilet Function		Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"				NA
Stall door is 36" wide				NA
Stall door swings out				NA
Stall door has a pull latch				NA
Lock on stall door is operable with a closed fist and 32"				NA

Cherry Street Field ADA Worksheet

Specification	Yes	No	Comments/Exception Notes
Coat hook is 54" high			NA
Stall door has a pull latch			NA
Toilet			
Specification	Yes	No	Comments/Exception Notes
18" from center to nearest side wall			NA
43" minimum clear space from center to farthest wall or fixture			NA
Top of seat 17-19" above the floor			NA
Grab Bars			
Specification	Yes	No	Comments/Exception Notes
On back and side wall closest to toilet			NA
1 1/4" diameter			NA
1 1/2" clearance to the wall			NA
Located 30" above and parallel to the floor			NA
42" long			NA
Dispensers (soaps, paper towels) at least one of each a maximum 42" above the floor			NA
Drinking Fountain			
Specification	Yes	No	Comments/Exception Notes
Spouts no higher than 36" from floor to outlet			NA
Hand operated push button or level controls			NA
Spouts located near front with stream of water as parallel			NA
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			NA
If clear knee space underneath clear floor 30" x48" to allow parallel approach			NA

Danforth Falls

Hiking trails along Danforth Brook. Not handicap accessible.



Danforth Falls ADA Worksheet

PARKING			
Total Spaces		Number of Accessible Spaces	
Up to 25	1 space	NA	
26-50	2 spaces	NA	
51-75	3 spaces	NA	
76-100	4 spaces	NA	
101-150	5 spaces	NA	
151-200	6 spaces	NA	
Specification for Accessible Space	Yes	No	Comments
Accessible space located closest to accesible entrance			room for 3 or 4 cars to park, trails are not handicap accessible
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided			NA
Minimum width of 13 ft includes 8ft space plus 5ft access aisle			NA
Van spaces- minimum of 1 space for every accessible space.			NA
Sign with international symbol of accessibily at each space or pair of spaces			NA
Sign minimum 5ft , maximum 8 ft to top of the sign			NA
Surface evenly paved or hard-packed			NA
Surface slope less than 1: 20, 5%			NA
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present			NA
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yellow			NA
RAMPS			
Specification	Yes	No	Comments/Transition Notes
Slope Maximum 1:12			NA
Minimum width 4ft between handrails			NA
Handrails on both sides if ramp is longer than 6ft			NA
Handrails at 34" and 19" from ramp surface			NA
Handrails extend 12" beyond top and bottom			NA
Handgrip oval or round			NA
Handgrip diameter between 1 1/4" and 2 "			NA
Clearance of 1 1/2 between wall and wall rail			NA
Non slip surface			NA
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction			NA
SITE ACCESS, PATH OF TRAVEL, ENTRANCES			
Site Access			
Specification	Yes	No	Comments/Transition Notes

Danforth Falls ADA Worksheet

Specification	Yes	No	Comments/Transition Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance			NA
Disembarking areas at accessible entrance			NA
Surface evenly paved or hard-packed			NA
No ponding water			NA
Paths of Travel			
Specification	Yes	No	Comments/Transition Notes
Path does not require the use of stairs			NA
Path is stable, firm, and is slip resistant			NA
3 foot wide minimum			NA
Continuous common surfaces no changes in level greater than 1/2 inch			NA
Any objects protruding onto the pathway must be detected by a person with a visual disability			NA
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas			NA
Curb on the driveway must have curb cuts at drives parking			NA
Entrances			
Specification	Yes	No	Comments/Transition Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and <u>not be the primary entrance</u>			NA
Level space extending 5ft from the door, interiors and exterior of entrance doors.			NA
Minimum 32" clear width opening			NA
At least 18" clear floor area on latch pull side of the door			NA
Door handle no higher than 48" and operable with a closed fist			NA
Vestibule is 4 ft plus width of the door swinging into the space			NA
Entrance (s) on a level that makes elevators accessible			NA
Door mats less than 1/2" thick are securely fastened			NA
Door mats more than 1/2" thick are recessed			NA
Grates in path of travel have openings of 1/2" maximum			NA
Signs at non-accessible entrance (s) indicate direction to <u>accessible entrance</u>			NA
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			NA
STAIRS AND DOORS			
Stairs			
Specification	Yes	No	Comments/Transition Notes
No open risers			NA
Nosings not projecting			NA
Treads less than 11" wide			NA
Handrails on both sides			NA

Danforth Falls ADA Worksheet

Specification		Yes	No	Comments, Transition Notes
Handrails 34' x 38' above tread				NA
Handrail extends a minimum of 1ft beyond top and bottom riser				NA
Handgrip oval or round				NA
Handgrip has a smooth surface				NA
Handgrip diameter between 1 1/4" and 1 1/2 "				NA
1 1/2" clearance between handrail				NA
DOORS				
Specification		Yes	No	Comments, Transition Notes
Minimum 32" clear opening				NA
At least 18" clear floor space on pull side of the door				NA
Closing speed minimum 3 second to within 3" of the latch				NA
Maximum pressure 5 pounds interior doors				NA
Threshold maximum 1/2" high beveled on both sides				NA
Hardware operable minimum 36" maximum 48" to top of the floor				NA
Clear level floor space extends out 5ft from both sides of the door				NA
Door adjacent to revolving door is accessible and unlocked				NA
Doors opening into hazardous area have hardware that is				NA
RESTROOMS- See standards for doors and vestibules				
Specification		Yes	No	Comments, Transition Notes
5 ft turning space measure 12" from the door				NA
At least one sink				
Specification		Yes	No	Comments, Transition Notes
Clear floor space of 30" by 48"to allow a forward movement				NA
Mounted without pedestal or legs height 34" to top of rim				NA
Extends at least 22" from the wall				NA
Open knee space a minimum 19" deep 30" width and 27" high				NA
Cover exposed pipes with insulation				NA
Facuets operable with closed fists (level or spring activated handle				NA
At least one stall				
Specification		Yes	No	Comments, Transition Notes
Accessible to person using wheelchair at 60" wide by 72"				NA
Stall door is 36" wide				NA
Stall door swings out				NA
Stall door has a pull latch				NA
Lock on stall door is operable with a closed fist and 32"				NA

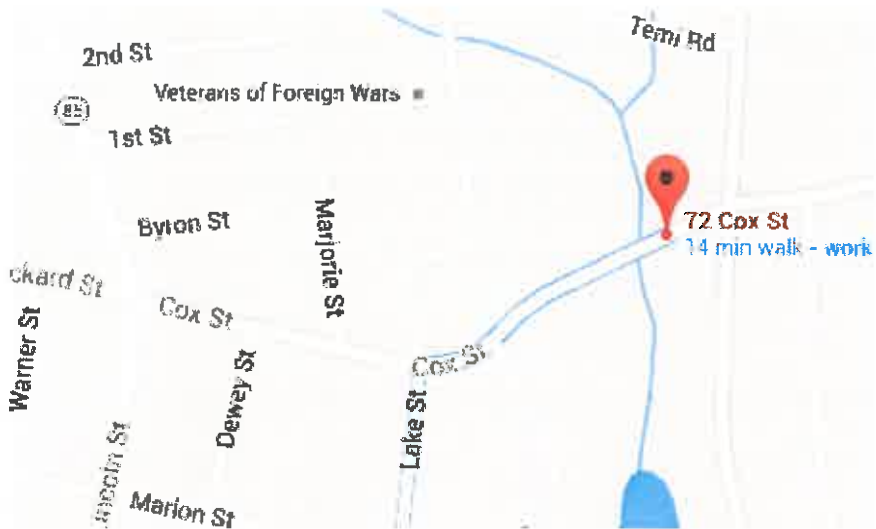
Danforth Falls ADA Worksheet

Specification	Yes	No	Comments/Transition Notes
Coat hook is 54" high			NA
Stall door has a pull latch			NA
Toilet			
Specification	Yes	No	Comments/Transition Notes
18" from center to nearest side wall			NA
43" minimum clear space from center to farthest wall or fixture			NA
Top of seat 17-19" above the floor			NA
Grab Bars			
Specification	Yes	No	Comments/Transition Notes
On back and side wall closest to toilet			NA
1 1/4" diameter			NA
1 1/2" clearance to the wall			NA
Located 30" above and parallel to the floor			NA
42" long			NA
Dispenseners (soaps, paper towels) at least one of each a maximum 42" above the floor			NA
Drinking Fountains			
Specification	Yes	No	Comments/Transition Notes
Spouts no higher than 36" from floor to outlet			NA
Hand operated push button or level controls			NA
Spouts located near front with stream of water as parallel			NA
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			NA
If clear knee space underneath clear floor 30" x48" to allow parallel approach			NA

Farina Field

One baseball field down an unmarked driveway with a small unpaved parking area.

Notes from Transition Plan: Add path from street to ballfield area



PARKING				
Specification		Proposed Accommodation		
Up to 25	1 space		NA	
26-50	2 spaces		NA	
51-75	3 spaces		NA	
76-100	4 spaces		NA	
101-150	5 spaces		NA	
151-200	6 spaces		NA	
Compliance for Accessible Spaces		Yes	No	Comments
Accessible space located closest to accesible entrance				small unpaved parking area, no designated spots
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided				could drop off
Minimum width of 13 ft includes 8ft space plus 5ft access aisle				
Van spaces- minimum of 1 space for every accessible space.				
Sign with international symbol of accessibily at each space or pair of spaces			x	
Sign minimum 5ft , maximum 8 ft to top of the sign				
Surface evenly paved or hard-packed		x		
Surface slope less than 1: 20, 5%		x		
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present				no curb
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yellow				
RAMPS				
Specification		Yes	No	Comments/Transition Notes
Slope Maximum 1:12				NA
Minimum width 4ft between handrails				NA
Handrails on both sides if ramp is longer than 6ft				NA
Handrails at 34" and 19" from ramp surface				NA
Handrails extend 12" beyond top and bottom				NA
Handgrip oval or round				NA
Handgrip diameter between 1 1/4" and 2 "				NA
Clearance of 1 1/2 between wall and wall rail				NA
Non slip surface				NA
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction				NA
SITE ACCESS, PATH OF TRAVEL, ENTRANCES				
Site Access				
Specification		Yes	No	Comments/Transition Notes

Farina Field ADA Worksheet

Item Number	Yes	No	Comments/Transit Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance	x		
Disembarking areas at accessible entrance	x		
Surface evenly paved or hard-packed	x		
No ponding water	x		
Paths of Travel			
Item Number	Yes	No	Comments/Transit Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant	x		
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch	x		
Any objects protruding onto the pathway must be detected by a person with a visual disability			no objects
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas			
Curb on the driveway must have curb cuts at drives parking			no curb
Entrances			
Item Number	Yes	No	Comments/Transit Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and not be the primary entrance			NA
Level space extending 5ft from the door, interios and exterior of entrance doors.			NA
Minimum 32" clear width opening			NA
At least 18" clear floor area on latch pull side of the door			NA
Door handle no higher than 48" and operable with a closed fist			NA
Vestibule is 4 ft plus width of the door swinging into the space			NA
Entrance (s) on a level that makes elevators accessible			NA
Door mats less than 1/2" thick are securely fastened			NA
Door mats more than 1/2" thick are recessed			NA
Grates in path of travel have openings of 1/2" maximum			NA
Signs at non-accessible entrance (s) indicate direction to accessible entrance			NA
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			NA
STAIRS AND DOORS			
Stairs			
Item Number	Yes	No	Comments/Transit Notes
No open risers			NA
Nosings not projecting			NA
Treads less than 11" wide			NA
Handrails on both sides			NA

Farina Field ADA Worksheet

Specification	Yes	No	Comments/Transition Notes
Handrails 34' x 38' above tread			NA
Handrail extends a minimum of 1ft beyond top and bottom riser			NA
Handgrip oval or round			NA
Handgrip has a smooth surface			NA
Handgrip diameter between 1 1/4" and 1 1/2 "			NA
1 1/2" clearance between handrail			NA
Doors			
Specification	Yes	No	Comments/Transition Notes
Minimum 32" clear opening			NA
At least 18" clear floor space on pull side of the door			NA
Closing speed minimum 3 second to within 3" of the latch			NA
Maximum pressure 5 pounds interior doors			NA
Threshold maximum 1/2" high beveled on both sides			NA
Hardware operable minimum 36" maximum 48" to top of the floor			NA
Clear level floor space extends out 5ft from both sides of the door			NA
Door adjacent to revolving door is accessible and unlocked			NA
Doors opening into hazardous area have hardware that is			NA
RESTROOMS- See standards for doors and vestibules			
Specification	Yes	No	Comments/Transition Notes
5 ft turning space measure 12" from the door			NA
30" high over sink			
Specification	Yes	No	Comments/Transition Notes
Clear floor space of 30" by 48"to allow a forward movement			NA
Mounted without pedestal or legs height 34" to top of rim			NA
Extends at least 22" from the wall			NA
Open knee space a minimum 19" deep 30" width and 27" high			NA
Cover exposed pipes with insulation			NA
Facuets operable with closed fists (level or spring activated handle			NA
All toilet door stall			
Specification	Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"			NA
Stall door is 36" wide			NA
Stall door swings out			NA
Stall door has a pull latch			NA
Lock on stall door is operable with a closed fist and 32"			NA

Farina Field ADA Worksheet

Item/Requirement	Yes	No	Comments/Exception Notes
Coat hook is 54"high			NA
Stall door has a pull latch			NA
Toilet			
Item/Requirement	Yes	No	Comments/Exception Notes
18" from center to nearest side wall			NA
43" minimum clear space from center to farthest wall or fixture			NA
Top of seat 17-19" above the floor			NA
Grab Bars			
Item/Requirement	Yes	No	Comments/Exception Notes
On back and side wall closest to toilet			NA
1 1/4" diameter			NA
1 1/2"clearance to the wall			NA
Located 30" above and parallel to the floor			NA
42" long			NA
Dispenseners (soaps, paper towels) at least one of each a maximum 42" above the floor			NA
Drinking Fountains			
Item/Requirement	Yes	No	Comments/Exception Notes
Spouts no higher than 36" from floor to outlet			NA
Hand operated push button or level controls			NA
Spouts located near front with stream of water as parallel			NA
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			NA
If clear knee space underneath clear floor 30" x48" to allow parallel approach			NA

Intel Fields (Westridge)

Soccer fields. Parking area has no marked spots but there is room near the entrance. Surface is hard packed but uneven.

Notes from Transition Plan: Plans for additional construction include additional parking to access ballfield.



Intel Fields ADA Worksheet

PARKING			
Total Spaces		Required Accessible Spaces	
Up to 25	1 space	No marked spots of any kind, there is room near entrance	
26-50	2 spaces		
51-75	3 spaces		
76-100	4 spaces		
101-150	5 spaces		
151-200	6 spaces		
Check Features for Accessible Spaces	Yes	No	Comments
Accessible space located closest to accesible entrance			No marked spots of any kind, there is room near entrance
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided	x		
Minimum width of 13 ft includes 8ft space plus 5ft access aisle			
Van spaces- minimum of 1 space for every accessible space.			
Sign with international symbol of accessibily at each space or pair of spaces		x	
Sign minimum 5ft , maximum 8 ft to top of the sign			
Surface evenly paved or hard-packed			hard packed but uneven
Surface slope less than 1: 20, 5%	x		
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present			no curb
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yellow			
RAMPS			
Check Feature	Yes	No	Comments/Transit/Bus Notes
Slope Maximum 1:12			NA
Minimum width 4ft between handrails			NA
Handrails on both sides if ramp is longer than 6ft			NA
Handrails at 34" and 19" from ramp surface			NA
Handrails extend 12" beyond top and bottom			NA
Handgrip oval or round			NA
Handgrip diameter between 1 1/4" and 2 "			NA
Clearance of 1 1/2 between wall and wall rail			NA
Non slip surface			NA
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction			NA
SITE ACCESS, PATH OR TRAVEL, ENTRANCES			
Site Access			
Special Features	Yes	No	Comments/Transit/Bus Notes

Intel Fields ADA Worksheet

Item/Location	Yes	No	Comments/Transition Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance	x		hard packed but uneven
Disembarking areas at accessible entrance			
Surface evenly paved or hard-packed			hard packed but uneven
No ponding water	x		
Paths of Travel			
Item/Location	Yes	No	Comments/Transition Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant	x		
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch	x		
Any objects protruding onto the pathway must be detected by a person with a visual disability			no protruding objects
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas			
Curb on the driveway must have curb cuts at drives parking			no curb
Entrances			
Item/Location	Yes	No	Comments/Transition Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and <u>not be the primary entrance</u>			NA
Level space extending 5ft from the door, interios and exterior of entrance doors.			NA
Minimum 32" clear width opening			NA
<u>At least 18" clear floor area on latch pull side of the door</u>			NA
Door handle no higher than 48" and operable with a closed fist			NA
Vestibule is 4 ft plus width of the door swinging into the space			NA
Entrance (s) on a level that makes elevators accessible			NA
Door mats less than 1/2" thick are securely fastened			NA
Door mats more than 1/2" thick are recessed			NA
Grates in path of travel have openings of 1/2" maximum			NA
Signs at non-accessible entrance (s) indicate direction to <u>accessible entrance</u>			NA
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			NA
STAIRS AND DOORS			
Stairs			
Item/Location	Yes	No	Comments/Transition Notes
No open risers			NA
Nosings not projecting			NA
Treads less than 11" wide			NA
Handrails on both sides			NA

Intel Fields ADA Worksheet

Elevators		Yes	No	Comments/Transition Notes
Handrails 34' x 38' above tread				NA
Handrail extends a minimum of 1ft beyond top and bottom riser				NA
Handgrip oval or round				NA
Handgrip has a smooth surface				NA
Handgrip diameter between 1 1/4" and 1 1/2 "				NA
1 1/2" clearance between handrail				NA
Doors				
Door Function		Yes	No	Comments/Transition Notes
Minimum 32" clear opening				NA
At least 18" clear floor space on pull side of the door				NA
Closing speed minimum 3 second to within 3" of the latch				NA
Maximum pressure 5 pounds interior doors				NA
Threshold maximum 1/2" high beveled on both sides				NA
Hardware operable minimum 36" maximum 48" to top of the floor				NA
Clear level floor space extends out 5ft from both sides of the door				NA
Door adjacent to revolving door is accessible and unlocked				NA
Doors opening into hazardous area have hardware that is				NA
RESTROOMS- See standards for doors and vestibules				
Toilets		Yes	No	Comments/Transition Notes
5 ft turning space measure 12" from the door				NA
At least one sink				
Sinks		Yes	No	Comments/Transition Notes
Clear floor space of 30" by 48"to allow a forward movement				NA
Mounted without pedestal or legs height 34" to top of rim				NA
Extends at least 22" from the wall				NA
Open knee space a minimum 19" deep 30" width and 27" high				NA
Cover exposed pipes with insulation				NA
Facuets operable with closed fists (level or spring activated handle				NA
At least one stall				
Toilets		Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"				NA
Stall door is 36" wide				NA
Stall door swings out				NA
Stall door has a pull latch				NA
Lock on stall door is operable with a closed fist and 32"				NA

Intel Fields ADA Worksheet

Specifications	Yes	No	Comments/Exception Notes
Coat hook is 54"high			NA
Stall door has a pull latch			NA
Toilet			
Specifications	Yes	No	Comments/Exception Notes
18" from center to nearest side wall			NA
43" minimum clear space from center to farthest wall or fixture			NA
Top of seat 17-19" above the floor			NA
Grab Bars			
Specifications	Yes	No	Comments/Exception Notes
On back and side wall closest to toilet			NA
1 1/4" diameter			NA
1 1/2"clearance to the wall			NA
Located 30" above and parallel to the floor			NA
42" long			NA
Dispenseners (soaps, paper towels) at least one of each a maximum 42" above the floor			NA
Drinking Fountains			
Specifications	Yes	No	Comments/Exception Notes
Spouts no higher than 36" from floor to outlet			NA
Hand operated push button or level controls			NA
Spouts located near front with stream of water as parallel			NA
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			NA
If clear knee space underneath clear floor 30" x48" to allow parallel approach			NA

Liberty Park

A small park for viewing the Assabet River next to the Hudson Public Library. The lower sidewalk is accessible from the library parking lot, but the ramp to the upper park is steep.



Liberty Park ADA Worksheet

PARKING			
Total Spaces		Required Accessible Spaces	
Up to 25	1 space		
26-50	2 spaces		1 space (library)
51-75	3 spaces		
76-100	4 spaces		
101-150	5 spaces		
151-200	6 spaces		
Specification for Accessible Spaces	Yes	No	Comments
Accessible space located closest to accesible entrance		x	
When spaces cannot be located within 200 feet of accessible entrance, drop off space provided	x		
Minimum width of 13 ft includes 8ft space plus 5ft access aisle	x		
Van spaces- minimum of 1 space for every accessible space.	x		
Sign with international symbol of accessibily at each space or pair of spaces	x		
Sign minimum 5ft , maximum 8 ft to top of the sign	x		
Surface evenly paved or hard-packed		x	paved by uneven in spots especially entrance
Surface slope less than 1: 20, 5%		x	very steep to street
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present		x	no curb
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yelllow			no curb
RAMPS			
Specification	Yes	No	Comments/Transition Notes
Slope Maximum 1:12			NA
Minimum width 4ft between handrails			NA
Handrails on both sides if ramp is longer than 6ft			NA
Handrails at 34" and 19" from ramp surface	x		
Handrails extend 12" beyond top and bottom		x	no extension
Handgrip oval or round	x		
Handgrip diameter between 1 1/4" and 2 "	x		
Clearance of 1 1/2 between wall and wall rail	x		
Non slip surface		x	
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction	x		
SITE ACCESS, PATH OF TRAVEL, ENTRANCES			
Site Access:			
Specification	Yes	No	Comments/Transition Notes

Liberty Park ADA Worksheet

Specification	Yes	No	Comments/Transition Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance	x		
Disembarking areas at accessible entrance	x		
Surface evenly paved or hard-packed		x	uneven
No ponding water	x		
Paths of Travel			
Specification	Yes	No	Comments/Transition Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant		x	sandy
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch	x		
Any objects protruding onto the pathway must be detected by a person with a visual disability			no objects protruding
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas			no objects protruding
Curb on the driveway must have curb cuts at drives parking	x		
Entrances			
Specification	Yes	No	Comments/Transition Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and not be the primary entrance			NA
Level space extending 5ft from the door, interios and exterior of entrance doors.			NA
Minimum 32" clear width opening			NA
At least 18" clear floor area on latch pull side of the door			NA
Door handle no higher than 48" and operable with a closed fist			NA
Vestibule is 4 ft plus width of the door swinging into the space			NA
Entrance (s) on a level that makes elevators accessible			NA
Door mats less than 1/2" thick are securely fastened			NA
Door mats more than 1/2" thick are recessed			NA
Grates in path of travel have openings of 1/2" maximum			NA
Signs at non-accessible entrance (s) indicate direction to accessible entrance			NA
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			NA
STAIRS AND DOORS			
Stairs			
Specification	Yes	No	Comments/Transition Notes
No open risers			NA
Nosings not projecting			NA
Treads less than 11" wide			NA
Handrails on both sides			NA

Liberty Park ADA Worksheet

Specification	Yes	No	Comments/Transition Notes
Handrails 34' x 38' above tread			NA
Handrail extends a minimum of 1ft beyond top and bottom riser			NA
Handgrip oval or round			NA
Handgrip has a smooth surface			NA
Handgrip diameter between 1 1/4" and 1 1/2 "			NA
1 1/2" clearance between handrail			NA
Doors			
Specification	Yes	No	Comments/Transition Notes
Minimum 32" clear opening			NA
At least 18" clear floor space on pull side of the door			NA
Closing speed minimum 3 second to within 3" of the latch			NA
Maximum pressure 5 pounds interior doors			NA
Threshold maximum 1/2" high beveled on both sides			NA
Hardware operable minimum 36" maximum 48" to top of the floor			NA
Clear level floor space extends out 5ft from both sides of the door			NA
Door adjacent to revolving door is accessible and unlocked			NA
Doors opening into hazardous area have hardware that is			NA
RESTROOMS: See standards for doors and vestibules			
Specification	Yes	No	Comments/Transition Notes
5 ft turning space measure 12" from the door			NA
AT LEAST ONE SINK			
Specification	Yes	No	Comments/Transition Notes
Clear floor space of 30" by 48"to allow a forward movement			NA
Mounted without pedestal or legs height 34" to top of rim			NA
Extends at least 22" from the wall			NA
Open knee space a minimum 19" deep 30" width and 27" high			NA
Cover exposed pipes with insulation			NA
Facuets operable with closed fists (level or spring activated handle			NA
At least one stall			
Specification	Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"			NA
Stall door is 36" wide			NA
Stall door swings out			NA
Stall door has a pull latch			NA
Lock on stall door is operable with a closed fist and 32"			NA

Liberty Park ADA Worksheet

Issue/Requirement	Yes	No	Comments/Transition Notes
Coat hook is 54" high			NA
Stall door has a pull latch			NA
Toilet			
Issue/Requirement	Yes	No	Comments/Transition Notes
18" from center to nearest side wall			NA
43" minimum clear space from center to farthest wall or fixture			NA
Top of seat 17-19" above the floor			NA
Grab Bars			
Issue/Requirement	Yes	No	Comments/Transition Notes
On back and side wall closest to toilet			NA
1 1/4" diameter			NA
1 1/2" clearance to the wall			NA
Located 30" above and parallel to the floor			NA
42" long			NA
Dispensers (soaps, paper towels) at least one of each a maximum 42" above the floor			NA
Drinking Fountains			
Issue/Requirement	Yes	No	Comments/Transition Notes
Spouts no higher than 36" from floor to outlet		x	
Hand operated push button or level controls	x		
Spouts located near front with stream of water as parallel		x	
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			no recessed
If clear knee space underneath clear floor 30" x48" to allow parallel approach		x	

Loureiro Land (Hudson Community Garden)

Parking is available at the Portuguese Club across the street, but there is no curb cut at the garden and the ground is uneven and steeply sloped.



PARKING			
Specification	Standard Accessibility Symbols		
Up to 25	1 space		
26-50	2 spaces		
51-75	3 spaces		
76-100	4 spaces		x
101-150	5 spaces		
151-200	6 spaces		
Specifications for Accessible Spaces	Yes	No	Comments
Accessible space located closest to accesible entrance		x	Spots across the street at the Portuguese Club, there is no parking explicitly for this
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided	x		
Minimum width of 13 ft includes 8ft space plus 5ft access aisle		x	
Van spaces- minimum of 1 space for every accessible space.		x	
Sign with international symbol of accessibily at each space or pair of spaces	x		
Sign minimum 5ft , maximum 8 ft to top of the sign	x		
Surface evenly paved or hard-packed		x	
Surface slope less than 1: 20, 5%		x	
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present		x	No curbcut at garden - curbcut at abutting property but ground uneven with steep
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yelllow		x	
RAMPS			
Specification	Yes	No	Comments/Transition Notes
Slope Maximum 1:12			NA
Minimum width 4ft between handrails			NA
Handrails on both sides if ramp is longer than 6ft			NA
Handrails at 34" and 19" from ramp surface			NA
Handrails extend 12" beyond top and bottom			NA
Handgrip oval or round			NA
Handgrip diameter between 1 1/4" and 2 "			NA
Clearance of 1 1/2 between wall and wall rail			NA
Non slip surface			NA
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction			NA
SITE ACCESS, PATH OF TRAVEL, ENTRANCES			
Site Access			
Specification	Yes	No	Comments/Transition Notes

Loureiro Land (Community Garden)

Specification	Yes	No	Comments/Exception Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance		x	
Disembarking areas at accessible entrance		x	
Surface evenly paved or hard-packed		x	
No ponding water	x		
Paths of Travel			
Specification	Yes	No	Comments/Exception Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant		x	
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch		x	
Any objects protruding onto the pathway must be detected by a person with a visual disability	x		
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas	x		
Curb on the driveway must have curb cuts at drives parking		x	
Entrances			
Specification	Yes	No	Comments/Exception Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and <u>not be the primary entrance</u>			NA
Level space extending 5ft from the door, interios and exterior of entrance doors.			NA
Minimum 32" clear width opening			NA
<u>At least 18" clear floor area on latch pull side of the door</u>			NA
Door handle no higher than 48" and operable with a closed fist			NA
Vestibule is 4 ft plus width of the door swinging into the space			NA
Entrance (s) on a level that makes elevators accessible			NA
Door mats less than 1/2" thick are securely fastened			NA
Door mats more than 1/2" thick are recessed			NA
Grates in path of travel have openings of 1/2" maximum			NA
Signs at non-accessible entrance (s) indicate direction to <u>accessible entrance</u>			NA
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			NA
STAIRS AND RAMP			
Stairs			
Specification	Yes	No	Comments/Exception Notes
No open risers			NA
Nosings not projecting			NA
Treads less than 11" wide			NA
Handrails on both sides			NA

Spec/Location		Yes	No	Comments/Transition Notes
Handrails 34' x 38' above tread				NA
Handrail extends a minimum of 1ft beyond top and bottom riser				NA
Handgrip oval or round				NA
Handgrip has a smooth surface				NA
Handgrip diameter between 1 1/4" and 1 1/2 "				NA
1 1/2" clearance between handrail				NA
Doors				
Spec/Location		Yes	No	Comments/Transition Notes
Minimum 32" clear opening				NA
At least 18" clear floor space on pull side of the door				NA
Closing speed minimum 3 second to within 3" of the latch				NA
Maximum pressure 5 pounds interior doors				NA
Threshold maximum 1/2" high beveled on both sides				NA
Hardware operable minimum 36" maximum 48" to top of the floor				NA
Clear level floor space extends out 5ft from both sides of the door				NA
Door adjacent to revolving door is accessible and unlocked				NA
Doors opening into hazardous area have hardware that is				NA
RESTROOMS- See standards for doors and vestibules				
Spec/Location		Yes	No	Comments/Transition Notes
5 ft turning space measure 12" from the door				NA
At least one sink				
Spec/Location		Yes	No	Comments/Transition Notes
Clear floor space of 30" by 48"to allow a forward movement				NA
Mounted without pedestal or legs height 34" to top of rim				NA
Extends at least 22" from the wall				NA
Open knee space a minimum 19" deep 30" width and 27" high				NA
Cover exposed pipes with insulation				NA
Facuets operable with closed fists (level or spring activated handle				NA
At least one stall				
Spec/Location		Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"				NA
Stall door is 36" wide				NA
Stall door swings out				NA
Stall door has a pull latch				NA
Lock on stall door is operable with a closed fist and 32"				NA

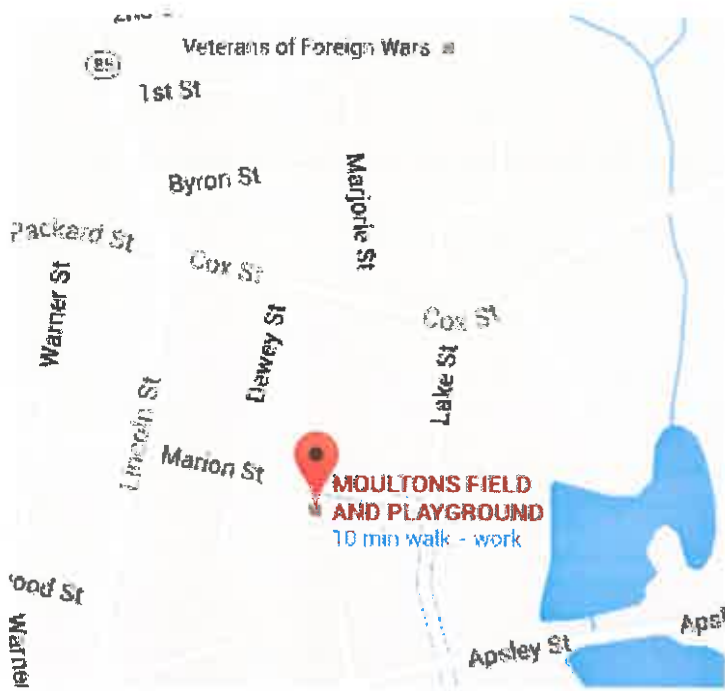
Loureiro Land (Community Garden)

Toilet			
Requirement	Yes	No	Comments/Transition Notes
Coat hook is 54" high			NA
Stall door has a pull latch			NA
Toilet			
Requirement	Yes	No	Comments/Transition Notes
18" from center to nearest side wall			NA
43" minimum clear space from center to farthest wall or fixture			NA
Top of seat 17-19" above the floor			NA
Grab Bars			
Requirement	Yes	No	Comments/Transition Notes
On back and side wall closest to toilet			NA
1 1/4" diameter			NA
1 1/2" clearance to the wall			NA
Located 30" above and parallel to the floor			NA
42" long			NA
Dispenseners (soaps, paper towels) at least one of each a maximum 42" above the floor			NA
Drinking Fountain			
Requirement	Yes	No	Comments/Transition Notes
Spouts no higher than 36" from floor to outlet			NA
Hand operated push button or level controls			NA
Spouts located near front with stream of water as parallel			NA
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			NA
If clear knee space underneath clear floor 30" x48" to allow parallel approach			NA

Moulton’s Field

An older park with fields and a playground not far from Downtown.

Notes from Transition Plan: Add parking spaces along Marion Street. Redesign path to basketball and playground area for easier access.



Moulton Field ADA Worksheet

PARKING			
Total Spaces		Required Accessible Spaces	
Up to 25	1 space		
26-50	2 spaces		
51-75	3 spaces		No handicap accessible spaces or parking lot
76-100	4 spaces		
101-150	5 spaces		
151-200	6 spaces		
Specifications For Accessible Spaces		Yes	No
Accessible space located closest to accesible entrance			x
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided			x
Minimum width of 13 ft includes 8ft space plus 5ft access aisle			x
Van spaces- minimum of 1 space for every accessible space.			x
Sign with international symbol of accessibily at each space or pair of spaces			x
Sign minimum 5ft , maximum 8 ft to top of the sign			x
Surface evenly paved or hard-packed			x
Surface slope less than 1: 20, 5%			x
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present			x
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yellow			x
RAMPS			
Specifications		Yes	No
Slope Maximum 1:12		N/A	
Minimum width 4ft between handrails		N/A	
Handrails on both sides if ramp is longer than 6ft		N/A	
Handrails at 34" and 19" from ramp surface		N/A	
Handrails extend 12" beyond top and bottom		N/A	
Handgrip oval or round		N/A	
Handgrip diameter between 1 1/4" and 2 "		N/A	
Clearance of 1 1/2 between wall and wall rail		N/A	
Non slip surface		N/A	
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction		N/A	
SITE ACCESS, PATH OF TRAVEL, ENTRANCES			
Site Access			
Specifications		Yes	No

Specification	Yes	No	Comments/Transition Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance	x		flat path from on-street parking area for handicap disembarking
Disembarking areas at accessible entrance	x		
Surface evenly paved or hard-packed	x		
No ponding water	x		
Points of Travel			
Specification	Yes	No	Comments/Transition Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant	x		
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch		x	
Any objects protruding onto the pathway must be detected by a person with a visual disability	x		
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas	x		
Curb on the driveway must have curb cuts at drives parking	N/A		
Entrances			
Specification	Yes	No	Comments/Transition Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and <u>not be the primary entrance</u>		x	
Level space extending 5ft from the door, interios and exterior of entrance doors.	N/A		
Minimum 32" clear width opening	N/A		
<u>At least 18" clear floor area on latch pull side of the door</u>	N/A		
Door handle no higher than 48" and operable with a closed fist	N/A		
Vestibule is 4 ft plus width of the door swinging into the space	N/A		
Entrance (s) on a level that makes elevators accessible	N/A		
Door mats less than 1/2" thick are securely fastened	N/A		
Door mats more than 1/2" thick are recessed	N/A		
Grates in path of travel have openings of 1/2" maximum	N/A		
Signs at non-accessible entrance (s) indicate direction to <u>accessible entrance</u>	N/A		
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted	N/A		
STAIRS AND DOORS			
Stairs			
Specification	Yes	No	Comments/Transition Notes
No open risers	N/A		
Nosings not projecting	N/A		
Treads less than 11" wide	N/A		
Handrails on both sides	N/A		

Moulton Field ADA Worksheet

Specification	Yes	No	Comments/Transmittal Notes
Handrails 34' x 38' above tread	N/A		
Handrail extends a minimum of 1ft beyond top and bottom riser	N/A		
Handgrip oval or round	N/A		
Handgrip has a smooth surface	N/A		
Handgrip diameter between 1 1/4" and 1 1/2 "	N/A		
1 1/2" clearance between handrail	N/A		
Doors			
Specification	Yes	No	Comments/Transmittal Notes
Minimum 32" clear opening	N/A		
At least 18" clear floor space on pull side of the door	N/A		
Closing speed minimum 3 second to within 3" of the latch	N/A		
Maximum pressure 5 pounds interior doors	N/A		
Threshold maximum 1/2" high beveled on both sides	N/A		
Hardware operable minimum 36" maximum 48" to top of the floor	N/A		
Clear level floor space extends out 5ft from both sides of the door	N/A		
Door adjacent to revolving door is accessible and unlocked	N/A		
Doors opening into hazardous area have hardware that is	N/A		
RESTROOMS- See standards for doors and vestibules			
Specification	Yes	No	Comments/Transmittal Notes
5 ft turning space measure 12" from the door	N/A		
At least one sink			
Specification	Yes	No	Comments/Transmittal Notes
Clear floor space of 30" by 48"to allow a forward movement	N/A		
Mounted without pedestal or legs height 34" to top of rim	N/A		
Extends at least 22" from the wall	N/A		
Open knee space a minimum 19" deep 30" width and 27" high	N/A		
Cover exposed pipes with insulation	N/A		
Facuets operable with closed fists (level or spring activated handle	N/A		
At least one stall			
Specification	Yes	No	Comments/Transmittal Notes
Accessible to person using wheelchair at 60" wide by 72"	N/A		
Stall door is 36" wide	N/A		
Stall door swings out	N/A		
Stall door has a pull latch	N/A		
Lock on stall door is operable with a closed fist and 32"	N/A		

Moulton Field ADA Worksheet

Check/Requirement	Yes	No	Comments/Transition Notes
Coat hook is 54" high	N/A		
Stall door has a pull latch	N/A		
Toilet			
Clearance notes	Yes	No	Comments/Transition Notes
18" from center to nearest side wall	N/A		
43" minimum clear space from center to farthest wall or fixture	N/A		
Top of seat 17-19" above the floor	N/A		
Grab Bars			
Check/Requirement	Yes	No	Comments/Transition Notes
On back and side wall closest to toilet	N/A		
1 1/4" diameter	N/A		
1 1/2" clearance to the wall	N/A		
Located 30" above and parallel to the floor	N/A		
42" long	N/A		
Dispensers (soaps, paper towels) at least one of each a maximum 42" above the floor	N/A		
Drinking Fountains			
Check/Requirement	Yes	No	Comments/Transition Notes
Spouts no higher than 36" from floor to outlet	N/A		
Hand operated push button or level controls	N/A		
Spouts located near front with stream of water as parallel	N/A		
If recessed, recess a minimum of 30" width and no deeper than depth of fountain	N/A		
If clear knee space underneath clear floor 30" x48" to allow parallel approach	N/A		

O'Donnell Fields/Fossile Field

Baseball fields and soccer field behind the High School



O'Donnell Fields/Fossile Field

PARKING			
Drop Off/Pick Up	Required Accessibility Features		
Up to 25	1 space		
26-50	2 spaces		
51-75	3 spaces		
76-100	4 spaces		
101-150	5 spaces		
151-200	6 spaces		
Accessibility for Disabled Users	Yes	No	Comments
Accessible space located closest to accesible entrance		x	no parking near fields
When spaces cannot be located within 200 feet of accessible entrance, drop off space provided	x		
Minimum width of 13 ft includes 8ft space plus 5ft access aisle	x		
Van spaces- minimum of 1 space for every accessible space.			NA
Sign with international symbol of accessibily at each space or pair of spaces			NA
Sign minimum 5ft , maximum 8 ft to top of the sign			NA
Surface evenly paved or hard-packed	x		paved
Surface slope less than 1: 20, 5%	x		
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present			no sidewalk
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yellow			NA
RAMPS			
Slope/Gradient	Yes	No	Comments/Transition Notes
Slope Maximum 1:12			NA
Minimum width 4ft between handrails			NA
Handrails on both sides if ramp is longer than 6ft			NA
Handrails at 34" and 19" from ramp surface			NA
Handrails extend 12" beyond top and bottom			NA
Handgrip oval or round			NA
Handgrip diameter between 1 1/4" and 2 "			NA
Clearance of 1 1/2 between wall and wall rail			NA
Non slip surface			NA
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction			NA
SITE ACCESS, PATH OF TRAVEL, ENTRANCES			
Site Access			
Yes/No/NA	Yes	No	Comments/Transition Notes

Specification	Yes	No	Comments/Exception Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance	x		
Disembarking areas at accessible entrance	x		
Surface evenly paved or hard-packed	x		hard packed
No ponding water	x		
Paths of Travel			
Specification	Yes	No	Comments/Exception Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant	x		
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch	x		
Any objects protruding onto the pathway must be detected by a person with a visual disability	x		
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas			no walls
Curb on the driveway must have curb cuts at drives parking			no curb
Entrances			
Specification	Yes	No	Comments/Exception Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and not be the primary entrance			NA
Level space extending 5ft from the door, interios and exterior of entrance doors.			NA
Minimum 32" clear width opening			NA
At least 18" clear floor area on latch pull side of the door			NA
Door handle no higher than 48" and operable with a closed fist			NA
Vestibule is 4 ft plus width of the door swinging into the space			NA
Entrance (s) on a level that makes elevators accessible			NA
Door mats less than 1/2" thick are securely fastened			NA
Door mats more than 1/2" thick are recessed			NA
Grates in path of travel have openings of 1/2" maximum			NA
Signs at non-accessible entrance (s) indicate direction to accessible entrance			NA
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			NA
STAIRS AND DOORS			
Stairs			
Specification	Yes	No	Comments/Exception Notes
No open risers			NA
Nosings not projecting			NA
Treads less than 11" wide			NA
Handrails on both sides			NA

Handrails		Yes	No	Comments/Transition Notes
Handrails 34' x 38' above tread				NA
Handrail extends a minimum of 1ft beyond top and bottom riser				NA
Handgrip oval or round				NA
Handgrip has a smooth surface				NA
Handgrip diameter between 1 1/4" and 1 1/2 "				NA
1 1/2" clearance between handrail				NA
Doors				
Functionality		Yes	No	Comments/Transition Notes
Minimum 32" clear opening				NA
At least 18" clear floor space on pull side of the door				NA
Closing speed minimum 3 second to within 3" of the latch				NA
Maximum pressure 5 pounds interior doors				NA
Threshold maximum 1/2" high beveled on both sides				NA
Hardware operable minimum 36" maximum 48" to top of the floor				NA
Clear level floor space extends out 5ft from both sides of the door				NA
Door adjacent to revolving door is accessible and unlocked				NA
Doors opening into hazardous area have hardware that is				NA
RESTROOMS- See standards for doors and vestibules				
Accessibility		Yes	No	Comments/Transition Notes
5 ft turning space measure 12" from the door				NA
AT LEAST ONE STALL				
Accessibility		Yes	No	Comments/Transition Notes
Clear floor space of 30" by 48"to allow a forward movement				NA
Mounted without pedestal or legs height 34" to top of rim				NA
Extends at least 22" from the wall				NA
Open knee space a minimum 19" deep 30" width and 27" high				NA
Cover exposed pipes with inuslation				NA
Facuets operable with closed fists (level or spring activated handle				NA
AT LEAST ONE STALL				
Accessibility		Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"				NA
Stall door is 36" wide				NA
Stall door swings out				NA
Stall door has a pull latch				NA
Lock on stall door is operable with a closed fist and 32"				NA

O'Donnell Fields/Fossile Field

Requirement	Yes	No	Comments/Transition Notes
Coat hook is 54"high			NA
Stall door has a pull latch			NA
Toilet			
Requirement	Yes	No	Comments/Transition Notes
18" from center to nearest side wall			NA
43" minimum clear space from center to farthest wall or fixture			NA
Top of seat 17-19" above the floor			NA
Grab Bars			
Requirement	Yes	No	Comments/Transition Notes
On back and side wall closest to toilet			NA
1 1/4" diameter			NA
1 1/2"clearance to the wall			NA
Located 30" above and parallel to the floor			NA
42" long			NA
Dispenseners (soaps, paper towels) at least one of each a maximum 42" above the floor			NA
Drinking Fountains			
Requirement	Yes	No	Comments/Transition Notes
Spouts no higher than 36" from floor to outlet			NA
Hand operated push button or level controls			NA
Spouts located near front with stream of water as parallel			NA
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			NA
If clear knee space underneath clear floor 30" x48" to allow parallel approach			NA

Riverside Complex/Morgan Bowl

Baseball field, tennis courts, playground and football field at the High School



PARKING				
Total Spaces		Permanent Accessible Spaces		
Up to 25	1 space			
26-50	2 spaces			
51-75	3 spaces			
76-100	4 spaces		6 spaces	
101-150	5 spaces			
151-200	6 spaces			
Requirements for Accessible Spaces		Yes	No	Comments
Accessible space located closest to accesible entrance		x		4 spaces near the football field, 2 near the playground and baseball field
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided		x		
Minimum width of 13 ft includes 8ft space plus 5ft access aisle		x		
Van spaces- minimum of 1 space for every accessible space.		x		
Sign with international symbol of accessibily at each space or pair of spaces		x		
Sign minimum 5ft , maximum 8 ft to top of the sign		x		
Surface evenly paved or hard-packed			x	uneven with protruding roots by baseball field/playground
Surface slope less than 1: 20, 5%			x	sloped
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present		x		
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yelllow			x	curbcut by playground too narrow
RAMPS				
Item/Requirement	Yes	No	Comments/Transition Notes	
Slope Maximum 1:12			NA	
Minimum width 4ft between handrails			NA	
Handrails on both sides if ramp is longer than 6ft			NA	
Handrails at 34" and 19" from ramp surface			NA	
Handrails extend 12" beyond top and bottom			NA	
Handgrip oval or round			NA	
Handgrip diameter between 1 1/4" and 2 "			NA	
Clearance of 1 1/2 between wall and wall rail			NA	
Non slip surface			NA	
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction			NA	
SITE ACCESS, PATH OR TRAVEL, ENTRANCES				
Site Access				
Item/Requirement	Yes	No	Comments/Transition Notes	

Riverside Complex/Morgan Bowl

Specification	Yes	No	Comments/Transition Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance	x		
Disembarking areas at accessible entrance	x		
Surface evenly paved or hard-packed		x	sandy by playground, no path to equipment
No ponding water		x	ponding water by ballfield
Paths of Travel			
Specification	Yes	No	Comments/Transition Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant		x	
3 foot wide minimum		x	
Continuous common surfaces no changes in level greater than 1/2 inch		x	
Any objects protruding onto the pathway must be detected by a person with a visual disability		x	
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas			no walls
Curb on the driveway must have curb cuts at drives parking			no curb
Entrances			
Specification	Yes	No	Comments/Transition Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and <u>not be the primary entrance</u>			NA
Level space extending 5ft from the door, interiors and exterior of entrance doors.			NA
Minimum 32" clear width opening			NA
At least 18" clear floor area on latch pull side of the door			NA
Door handle no higher than 48" and operable with a closed fist			NA
Vestibule is 4 ft plus width of the door swinging into the space			NA
Entrance (s) on a level that makes elevators accessible			NA
Door mats less than 1/2" thick are securely fastened			NA
Door mats more than 1/2" thick are recessed			NA
Grates in path of travel have openings of 1/2" maximum			NA
Signs at non-accessible entrance (s) indicate direction to accessible entrance			NA
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			NA
STAIRS AND DOORS			
Stairs			
Specification	Yes	No	Comments/Transition Notes
No open risers			NA
Nosings not projecting			NA
Treads less than 11" wide			NA
Handrails on both sides			NA

Specification		Yes	No	Comments/Exception Notes
Handrails 34' x 38' above tread				NA
Handrail extends a minimum of 1ft beyond top and bottom riser				NA
Handgrip oval or round				NA
Handgrip has a smooth surface				NA
Handgrip diameter between 1 1/4" and 1 1/2 "				NA
1 1/2" clearance between handrail				NA
Doors				
Specification		Yes	No	Comments/Exception Notes
Minimum 32" clear opening				NA
At least 18" clear floor space on pull side of the door				NA
Closing speed minimum 3 second to within 3" of the latch				NA
Maximum pressure 5 pounds interior doors				NA
Threshold maximum 1/2" high beveled on both sides				NA
Hardware operable minimum 36" maximum 48" to top of the floor				NA
Clear level floor space extends out 5ft from both sides of the door				NA
Door adjacent to revolving door is accessible and unlocked				NA
Doors opening into hazardous area have hardware that is				NA
EAST ROOMS: See standards for doors and vestibules				
Specification		Yes	No	Comments/Exception Notes
5 ft turning space measure 12" from the door			x	
At least one sink				
Specification		Yes	No	Comments/Exception Notes
Clear floor space of 30" by 48"to allow a forward movement			x	
Mounted without pedestal or legs height 34" to top of rim			x	
Extends at least 22" from the wall			x	
Open knee space a minimum 19" deep 30" width and 27" high			x	
Cover exposed pipes with insulation			x	
Facuets operable with closed fists (level or spring activated handle			x	
At least one stall				
Specification		Yes	No	Comments/Exception Notes
Accessible to person using wheelchair at 60" wide by 72"		x		
Stall door is 36" wide		x		
Stall door swings out			x	
Stall door has a pull latch			x	
Lock on stall door is operable with a closed fist and 32"			x	

Specification	Yes	No	Comments/Transition Notes
Coat hook is 54" high		x	
Stall door has a pull latch		x	
Toilet			
Specification	Yes	No	Comments/Transition Notes
18" from center to nearest side wall	x		
43" minimum clear space from center to farthest wall or fixture	x		
Top of seat 17-19" above the floor		x	
Grab Bars			
Specification	Yes	No	Comments/Transition Notes
On back and side wall closest to toilet		x	
1 1/4" diameter		x	
1 1/2" clearance to the wall		x	
Located 30" above and parallel to the floor		x	
42" long		x	
Dispenseners (soaps, paper towels) at least one of each a maximum 42" above the floor		x	
Drinking Fountains			
Specification	Yes	No	Comments/Transition Notes
Spouts no higher than 36" from floor to outlet			NA
Hand operated push button or level controls			NA
Spouts located near front with stream of water as parallel			NA
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			NA
If clear knee space underneath clear floor 30" x48" to allow parallel approach			NA

Sauta Complex

Playing fields and a playground, handicap accessible

Notes from Transition Plan: Remove chain barrier for access to back field.



PARKING				
Parking Spaces		Required Accessible Spaces		
Up to 25	1 space			
26-50	2 spaces		2 handicap spaces provided	
51-75	3 spaces			
76-100	4 spaces			
101-150	5 spaces			
151-200	6 spaces			
Specifications for Accessible Spaces		Yes	No	Comments
Accessible space located closest to accesible entrance		x		
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided		x		
Minimum width of 13 ft includes 8ft space plus 5ft access aisle		x		
Van spaces- minimum of 1 space for every accessible space.			x	
Sign with international symbol of accessibily at each space or pair of spaces		x		
Sign minimum 5ft , maximum 8 ft to top of the sign		x		
Surface evenly paved or hard-packed		x		
Surface slope less than 1: 20, 5%		x		
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present		N/A		
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yellow		x		
RAMPS				
Specification	Yes	No	Comments/Transition Notes	
Slope Maximum 1:12	N/A			
Minimum width 4ft between handrails	N/A			
Handrails on both sides if ramp is longer than 6ft	N/A			
Handrails at 34" and 19" from ramp surface	N/A			
Handrails extend 12" beyond top and bottom	N/A			
Handgrip oval or round	N/A			
Handgrip diameter between 1 1/4" and 2 "	N/A			
Clearance of 1 1/2 between wall and wall rail	N/A			
Non slip surface	N/A			
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction	N/A			
SITE ACCESS, PATH OF TRAVEL, ENTRANCES				
Site Access				
Specification	Yes	No	Comments/Transition Notes	

Sauta Complex ADA Worksheet

Specification	Yes	No	Comments/Transition Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance	x		Internal sidewalk network present and in good condition
Disembarking areas at accessible entrance	x		
Surface evenly paved or hard-packed	x		
No ponding water	x		
Paths of Travel			
Specification	Yes	No	Comments/Transition Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant	x		
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch	x		
Any objects protruding onto the pathway must be detected by a person with a visual disability	x		
Objects protruding more than 4" from the wall must be within 27" of the ground or higher areas			
Curb on the driveway must have curb cuts at drives parking	x		
Entrances			
Specification	Yes	No	Comments/Transition Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and <u>not be the primary entrance</u>	x		
Level space extending 5ft from the door, interior and exterior of entrance doors.	N/A		
Minimum 32" clear width opening	N/A		
At least 18" clear floor area on latch pull side of the door	N/A		
Door handle no higher than 48" and operable with a closed fist	N/A		
Vestibule is 4 ft plus width of the door swinging into the space	N/A		
Entrance (s) on a level that makes elevators accessible	N/A		
Door mats less than 1/2" thick are securely fastened	N/A		
Door mats more than 1/2" thick are recessed	N/A		
Grates in path of travel have openings of 1/2" maximum	N/A		
Signs at non-accessible entrance (s) indicate direction to accessible entrance	N/A		
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted	N/A		
STAIRS AND DOORS			
Stairs			
Specification	Yes	No	Comments/Transition Notes
No open risers	N/A		
Nosings not projecting	N/A		
Treads less than 11" wide	N/A		
Handrails on both sides	N/A		

Sauta Complex ADA Worksheet

Handrails		Yes	No	Comments/Transition Notes
Handrails 34' x 38' above tread		N/A		
Handrail extends a minimum of 1ft beyond top and bottom riser		N/A		
Handgrip oval or round		N/A		
Handgrip has a smooth surface		N/A		
Handgrip diameter between 1 1/4" and 1 1/2 "		N/A		
1 1/2" clearance between handrail		N/A		
Doors				
Doors		Yes	No	Comments/Transition Notes
Minimum 32" clear opening		N/A		
At least 18" clear floor space on pull side of the door		N/A		
Closing speed minimum 3 second to within 3" of the latch		N/A		
Maximum pressure 5 pounds interior doors		N/A		
Threshold maximum 1/2" high beveled on both sides		N/A		
Hardware operable minimum 36" maximum 48" to top of the floor		N/A		
Clear level floor space extends out 5ft from both sides of the door		N/A		
Door adjacent to revolving door is accessible and unlocked		N/A		
Doors opening into hazardous area have hardware that is				
REAR ROOMS- See standards for doors and vestibules				
Turning Space		Yes	No	Comments/Transition Notes
5 ft turning space measure 12" from the door				
At least one sink				
Sinks		Yes	No	Comments/Transition Notes
Clear floor space of 30" by 48"to allow a forward movement	x			
Mounted without pedestal or legs height 34" to top of rim		x		
Extends at least 22" from the wall		x		
Open knee space a minimum 19" deep 30" width and 27" high		x		
Cover exposed pipes with insulation		x		
Facuets operable with closed fists (level or spring activated handle		x		
At least one stall				
Stalls		Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"		X		
Stall door is 36" wide		X		
Stall door swings out		X		
Stall door has a pull latch		X		
Lock on stall door is operable with a closed fist and 32"		X		

Sauta Complex ADA Worksheet

Question	Yes	No	Comments/Correction Notes
Coat hook is 54"high		X	
Stall door has a pull latch		X	
Toilet			
Question	Yes	No	Comments/Correction Notes

18" from center to nearest side wall

43" minimum clear space from center to farthest wall or fixture

Top of seat 17-19" above the floor

x

x

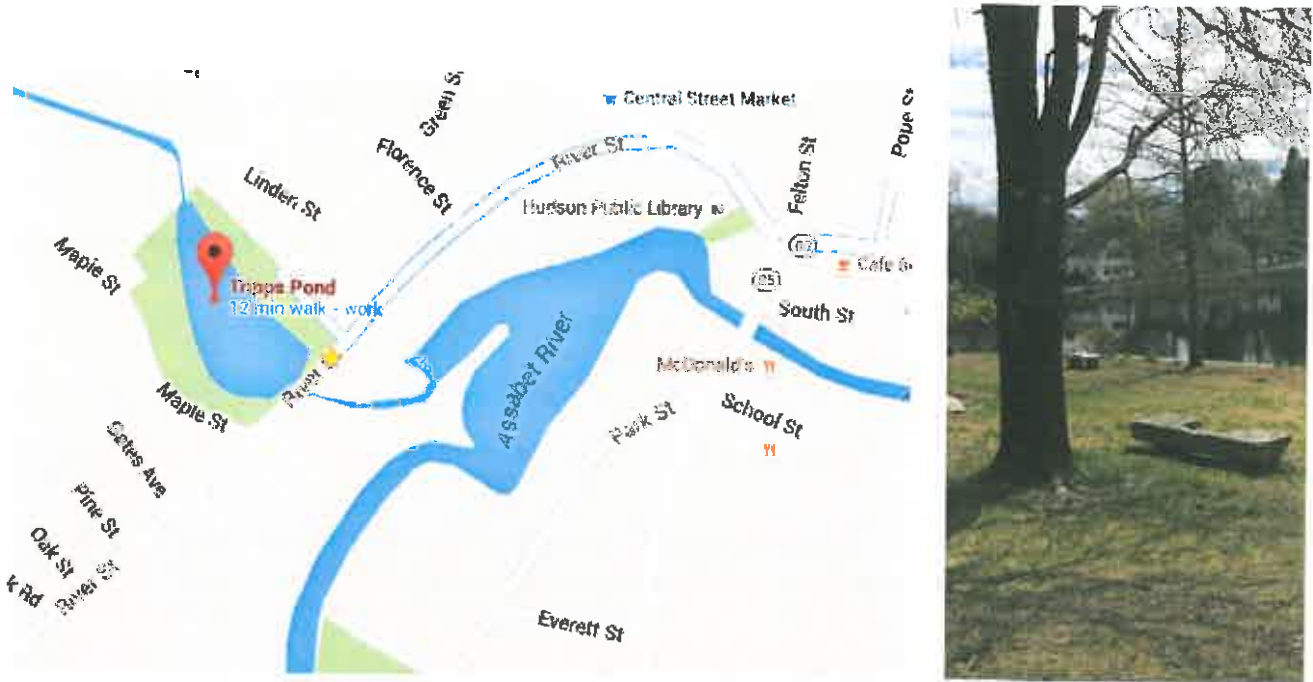
x

Grab Bars			
Question	Yes	No	Comments/Correction Notes
On back and side wall closest to toilet	N/A		
1 1/4" diameter	N/A		
1 1/2"clearance to the wall	N/A		
Located 30" above and parallel to the floor	N/A		
42" long	N/A		
Dispenseners (soaps, paper towels) at least one of each a maximum 42" above the floor		x	

Drinking Fountains			
Question	Yes	No	Comments/Correction Notes
Spouts no higher than 36" from floor to outlet	N/A		
Hand operated push button or level controls	N/A		
Spouts located near front with stream of water as parallel	N/A		
If recessed, recess a minimum of 30" width and no deeper than depth of fountain	N/A		
If clear knee space underneath clear floor 30" x48" to allow parallel approach	N/A		

Tripps Pond-Lamson Park

A small park along the Assabet River with benches, a short trail and a swingset



PARKING			
Total Spaces		Requirement of spaces per 250 users	
Up to 25	1 space	2	
26-50	2 spaces		
51-75	3 spaces		
76-100	4 spaces		
101-150	5 spaces		
151-200	6 spaces		
Access to route for accessible route	Yes	No	Comments
Accessible space located closest to accesible entrance	x		
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided			
Minimum width of 13 ft includes 8ft space plus 5ft access aisle	x		
Van spaces- minimum of 1 space for every accessible space.	x		
Sign with international symbol of accessibily at each space or pair of spaces	x		
Sign minimum 5ft , maximum 8 ft to top of the sign	x		
Surface evenly paved or hard-packed	x		
Surface slope less than 1: 20, 5%	x		
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present			
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yelllow	x		
RAMPS			
Specification	Yes	No	Comments/Transition Notes
Slope Maximum 1:12			NA
Minimum width 4ft between handrails			NA
Handrails on both sides if ramp is longer than 6ft			NA
Handrails at 34" and 19" from ramp surface			NA
Handrails extend 12" beyond top and bottom			NA
Handgrip oval or round			NA
Handgrip diameter between 1 1/4" and 2 "			NA
Clearance of 1 1/2 between wall and wall rail			NA
Non slip surface			NA
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction			NA
SITE ACCESS, PATH OR TRAVEL, ENTRANCES			
Site Access			
Specification	Yes	No	Comments/Transition Notes

Tripps Pond/Lansom Park ADA Worksheet

Specification	Yes	No	Comments/Exception Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance	x		
Disembarking areas at accessible entrance	x		
Surface evenly paved or hard-packed		x	uneven and narrow
No ponding water	x		
Paths of Travel			
Specification	Yes	No	Comments/Exception Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant	x		
3 foot wide minimum		x	uneven and narrow
Continuous common surfaces no changes in level greater than 1/2 inch	x		
Any objects protruding onto the pathway must be detected by a person with a visual disability			no objects protruding
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas			no wall
Curb on the driveway must have curb cuts at drives parking	x		
Entrances			
Specification	Yes	No	Comments/Exception Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and not be the primary entrance			NA
Level space extending 5ft from the door, interiors and exterior of entrance doors.			NA
Minimum 32" clear width opening			NA
At least 18" clear floor area on latch pull side of the door			NA
Door handle no higher than 48" and operable with a closed fist			NA
Vestibule is 4 ft plus width of the door swinging into the space			NA
Entrance (s) on a level that makes elevators accessible			NA
Door mats less than 1/2" thick are securely fastened			NA
Door mats more than 1/2" thick are recessed			NA
Grates in path of travel have openings of 1/2" maximum			NA
Signs at non-accessible entrance (s) indicate direction to accessible entrance			NA
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			NA
STAIRS AND DOORS			
Stairs			
Specification	Yes	No	Comments/Exception Notes
No open risers			NA
Nosings not projecting			NA
Treads less than 11" wide			NA
Handrails on both sides			NA

Tripps Pond/Lansom Park ADA Worksheet

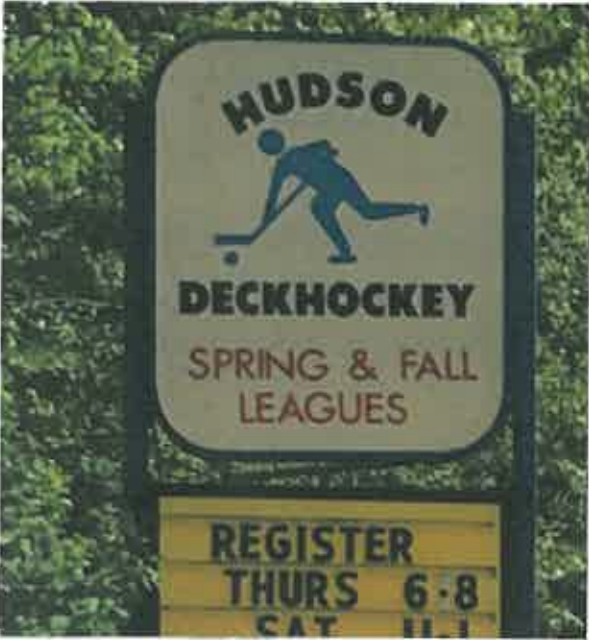
Description	Yes	No	Comments/Transition Notes
Handrails 34' x 38' above tread			NA
Handrail extends a minimum of 1ft beyond top and bottom riser			NA
Handgrip oval or round			NA
Handgrip has a smooth surface			NA
Handgrip diameter between 1 1/4" and 1 1/2 "			NA
1 1/2" clearance between handrail			NA
Doors			
Description	Yes	No	Comments/Transition Notes
Minimum 32" clear opening			NA
At least 18" clear floor space on pull side of the door			NA
Closing speed minimum 3 second to within 3" of the latch			NA
Maximum pressure 5 pounds interior doors			NA
Threshold maximum 1/2" high beveled on both sides			NA
Hardware operable minimum 36" maximum 48" to top of the floor			NA
Clear level floor space extends out 5ft from both sides of the door			NA
Door adjacent to revolving door is accessible and unlocked			NA
Doors opening into hazardous area have hardware that is			NA
RESTROOMS- See standards for doors and vestibules			
Description	Yes	No	Comments/Transition Notes
5 ft turning space measure 12" from the door			NA
At least one sink			
Description	Yes	No	Comments/Transition Notes
Clear floor space of 30" by 48"to allow a forward movement			NA
Mounted without pedestal or legs height 34" to top of rim			NA
Extends at least 22" from the wall			NA
Open knee space a minimum 19" deep 30" width and 27" high			NA
Cover exposed pipes with insulation			NA
Facuets operable with closed fists (level or spring activated handle			NA
At least one stall			
Description	Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"			NA
Stall door is 36" wide			NA
Stall door swings out			NA
Stall door has a pull latch			NA
Lock on stall door is operable with a closed fist and 32"			NA

Tripps Pond/Lansom Park ADA Worksheet

Toilet			
Specification	Yes	No	Comments/Transitions Notes
Coat hook is 54" high			NA
Stall door has a pull latch			NA
Toilet			
Specification	Yes	No	Comments/Transitions Notes
18" from center to nearest side wall			NA
43" minimum clear space from center to farthest wall or fixture			NA
Top of seat 17-19" above the floor			NA
Grab Bars			
Specification	Yes	No	Comments/Transitions Notes
On back and side wall closest to toilet			NA
1 1/4" diameter			NA
1 1/2" clearance to the wall			NA
Located 30" above and parallel to the floor			NA
42" long			NA
Dispenseners (soaps, paper towels) at least one of each a maximum 42" above the floor			NA
Drinking Fountain			
Specification	Yes	No	Comments/Transitions Notes
Spouts no higher than 36" from floor to outlet			NA
Hand operated push button or level controls			NA
Spouts located near front with stream of water as parallel			NA
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			NA
If clear knee space underneath clear floor 30" x48" to allow parallel approach			NA

Warren Chamberlain Rinks

Deck hockey rink with a couple of benches and a picnic table— not ADA compliant



PARKING				
Vehicle Spaces	Required Accessible Spaces			
Up to 25	1 space			
26-50	2 spaces			
51-75	3 spaces			
76-100	4 spaces			
101-150	5 spaces			
151-200	6 spaces			
Specifications for Accessible Spaces		Yes	No	
Accessible space located closest to accesible entrance			x	there are marked spots but they are blocked by a curb.
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided			x	no accessible entrance
Minimum width of 13 ft includes 8ft space plus 5ft access aisle			x	
Van spaces- minimum of 1 space for every accessible space.			x	
Sign with international symbol of accessibily at each space or pair of spaces			x	
Sign minimum 5ft , maximum 8 ft to top of the sign			x	
Surface evenly paved or hard-packed			x	paved by very bumpy and uneven
Surface slope less than 1: 20, 5%			x	steep section
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present			x	
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yellow			x	
RAMPS				
Specification	Yes	No	Comments/Transition Notes	
Slope Maximum 1:12			NA	
Minimum width 4ft between handrails			NA	
Handrails on both sides if ramp is longer than 6ft			NA	
Handrails at 34" and 19" from ramp surface			NA	
Handrails extend 12" beyond top and bottom			NA	
Handgrip oval or round			NA	
Handgrip diameter between 1 1/4" and 2 "			NA	
Clearance of 1 1/2 between wall and wall rail			NA	
Non slip surface			NA	
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction			NA	
SITE ACCESS, PATH OF TRAVEL, ENTRANCES				
Site Access				
Specification	Yes	No	Comments/Transition Notes	

Warren Chamberlain Rinks ADA Worksheet

Specification	Yes	No	Comments/Transition Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance			NA
Disembarking areas at accessible entrance			NA
Surface evenly paved or hard-packed			NA
No ponding water			NA
Paths of Travel			
Specification	Yes	No	Comments/Transition Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant		x	
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch		x	
Any objects protruding onto the pathway must be detected by a person with a visual disability	x		
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas	x		
Curb on the driveway must have curb cuts at drives parking		x	
Entrances:			
Specification	Yes	No	Comments/Transition Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and not be the primary entrance			NA
Level space extending 5ft from the door, interios and exterior of entrance doors.			NA
Minimum 32" clear width opening			NA
At least 18" clear floor area on latch pull side of the door			NA
Door handle no higher than 48" and operable with a closed fist			NA
Vestibule is 4 ft plus width of the door swinging into the space			NA
Entrance (s) on a level that makes elevators accessible			NA
Door mats less than 1/2" thick are securely fastened			NA
Door mats more than 1/2" thick are recessed			NA
Grates in path of travel have openings of 1/2" maximum			NA
Signs at non-accessible entrance (s) indicate direction to accessible entrance			NA
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			NA
STAIRS AND DOORS			
Stairs:			
Specification	Yes	No	Comments/Transition Notes
No open risers			NA
Nosings not projecting			NA
Treads less than 11" wide			NA
Handrails on both sides			NA

Specification	Yes	No	Comments/Transition Notes
Handrails 34' x 38' above tread			NA
Handrail extends a minimum of 1ft beyond top and bottom riser			NA
Handgrip oval or round			NA
Handgrip has a smooth surface			NA
Handgrip diameter between 1 1/4" and 1 1/2 "			NA
1 1/2" clearance between handrail			NA
Doors			
Specification	Yes	No	Comments/Transition Notes
Minimum 32" clear opening			NA
At least 18" clear floor space on pull side of the door			NA
Closing speed minimum 3 second to within 3" of the latch			NA
Maximum pressure 5 pounds interior doors			NA
Threshold maximum 1/2" high beveled on both sides			NA
Hardware operable minimum 36" maximum 48" to top of the floor			NA
Clear level floor space extends out 5ft from both sides of the door			NA
Door adjacent to revolving door is accessible and unlocked			NA
Doors opening into hazardous area have hardware that is			NA
RESTROOMS- See standards for doors and vestibules			
Specification	Yes	No	Comments/Transition Notes
5 ft turning space measure 12" from the door			NA
At least one stall			
Specification	Yes	No	Comments/Transition Notes
Clear floor space of 30" by 48"to allow a forward movement			NA
Mounted without pedestal or legs height 34" to top of rim			NA
Extends at least 22" from the wall			NA
Open knee space a minimum 19" deep 30" width and 27" high			NA
Cover exposed pipes with inuslation			NA
Facuets operable with closed fists (level or spring activated handle			NA
At least one stall			
Specification	Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"			NA
Stall door is 36" wide			NA
Stall door swings out			NA
Stall door has a pull latch			NA
Lock on stall door is operable with a closed fist and 32"			NA

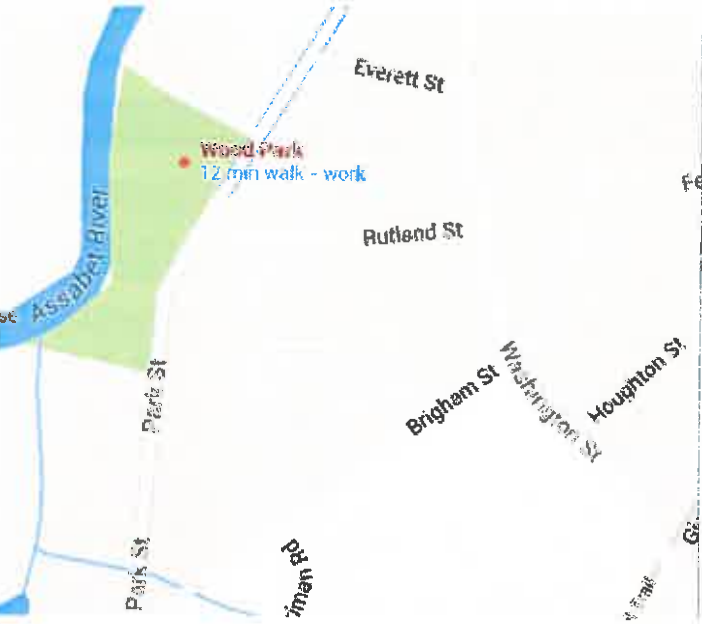
Warren Chamberlain Rinks ADA Worksheet

Location	Yes	No	Comments/Exception Notes
Coat hook is 54"high			NA
Stall door has a pull latch			NA
Toilet			
Location	Yes	No	Comments/Exception Notes
18" from center to nearest side wall			NA
43" minimum clear space from center to farthest wall or fixture			NA
Top of seat 17-19" above the floor			NA
Grab Bars			
Location	Yes	No	Comments/Exception Notes
On back and side wall closest to toilet			NA
1 1/4" diameter			NA
1 1/2"clearance to the wall			NA
Located 30" above and parallel to the floor			NA
42" long			NA
Dispenseners (soaps, paper towels) at least one of each a maximum 42" above the floor			NA
Drinking Fountains			
Location	Yes	No	Comments/Exception Notes
Spouts no higher than 36" from floor to outlet			NA
Hand operated push button or level controls			NA
Spouts located near front with stream of water as parallel			NA
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			NA
If clear knee space underneath clear floor 30" x48" to allow parallel approach			NA

Wood Park

A small park along the Assabet River with a gazebo for concerts, a play area, and a bridge leading to trails

Notes from Transition Plan: Redesign natural ramp to conform to slope requirements. Add hard surface access to playground and to music shell viewing area.



Wood Park ADA Worksheet

PARKING			
Specification	Required? See Accessibility Guidelines		
Up to 25	1 space		2
26-50	2 spaces		
51-75	3 spaces		
76-100	4 spaces		
101-150	5 spaces		
151-200	6 spaces		
REQUIREMENTS FOR ACCESSIBLE SPACES			
Accessible space located closest to accesible entrance	x		not compliant
When spaces cannot be located within 200 feet of accesible entrance, drop off space provided	x		
Minimum width of 13 ft includes 8ft space plus 5ft access aisle	x		
Van spaces- minimum of 1 space for every accessible space.	x		
Sign with international symbol of accessibily at each space or pair of spaces	x		
Sign minimum 5ft , maximum 8 ft to top of the sign	x		
Surface evenly paved or hard-packed			hard packed, not level
Surface slope less than 1: 20, 5%	x		
Curbut to pathway from parking lot at each space or pair of spaces if sidewalk is present			no curb
Curbut is a minimum width of 3ft, excluding sloped sides, has sloped sides, all slopes not to exceed 1:12, and textured or painted yelllow			no curb
RAMPS			
Specification	Yes	No	Comments, Transition Notes
Slope Maximum 1:12	x		To back of gazebo
Minimum width 4ft between handrails	x		
Handrails on both sides if ramp is longer than 6ft	x		
Handrails at 34" and 19" from ramp surface	x		
Handrails extend 12" beyond top and bottom		x	no extension
Handgrip oval or round	x		
Handgrip diameter between 1 1/4" and 2 "	x		
Clearance of 1 1/2 between wall and wall rail	x		
Non slip surface	x		
Level platforms (4ft x4ft) at every 30 ft at top at bottom at change of direction	x		
SITE ACCESS, PATH OF TRAVEL, ENTRANCES			
Site Access			
Specification	Yes	No	Comments, Transition Notes
Accessible path of travel from passenger disembarking area and parking area to accessible entrance	x		

Wood Park ADA Worksheet

Specification	Yes	No	Comments/Transition Notes
Disembarking areas at accessible entrance	x		
Surface evenly paved or hard-packed		x	hard packed by not even
No ponding water	x		
Paths of Travel			
Specification	Yes	No	Comments/Transition Notes
Path does not require the use of stairs	x		
Path is stable, firm, and is slip resistant	x		
3 foot wide minimum	x		
Continuous common surfaces no changes in level greater than 1/2 inch	x		
Any objects protruding onto the pathway must be detected by a person with a visual disability			no objects protruding
Objects protruding more than 4"from the wall must be within 27" of the ground or higher areas			no objects protruding
Curb on the driveway must have curb cuts at drives parking			no curb
Entrances			
Specification	Yes	No	Comments/Transition Notes
Primary public entrance accessible to person using wheelchair must be signed, gotten to independently and not be the primary entrance		x	
Level space extending 5ft from the door, interios and exterior of entrance doors.		x	
Minimum 32" clear width opening	x		
At least 18" clear floor area on latch pull side of the door			
Door handle no higher than 48" and operable with a closed fist			
Vestibule is 4 ft plus width of the door swinging into the space			
Entrance (s) on a level that makes elevators accessible			
Door mats less than 1/2" thick are securely fastened			
Door mats more than 1/2" thick are recessed			
Grates in path of travel have openings of 1/2" maximum			
Signs at non-accessible entrance (s) indicate direction to accessible entrance			
Emergency egress/alarms with flashing lights and audible signals, sufficiently lighted			
STAIRS AND DOORS			
Stairs			
Specification	Yes	No	Comments/Transition Notes
No open risers			NA
Nosings not projecting			NA
Treads less than 11" wide			NA
Handrails on both sides			NA
Handrails 34' x 38' above tread			NA
Handrail extends a minimum of 1ft beyond top and bottom riser			NA

Specification		Yes	No	Comments/Transition Notes
Handgrip oval or round				NA
Handgrip has a smooth surface				NA
Handgrip diameter between 1 1/4" and 1 1/2 "				NA
1 1/2" clearance between handrail				NA
Doors				
Specification		Yes	No	Comments/Transition Notes
Minimum 32" clear opening				NA
At least 18" clear floor space on pull side of the door				NA
Closing speed minimum 3 second to within 3" of the latch				NA
Maximum pressure 5 pounds interior doors				NA
Threshold maximum 1/2" high beveled on both sides				NA
Hardware operable minimum 36" maximum 48" to top of the floor				NA
Clear level floor space extends out 5ft from both sides of the door				NA
Door adjacent to revolving door is accessible and unlocked				NA
Doors opening into hazardous area have hardware that is				NA
RESTROOMS- See standards for doors and vestibules				
Specification		Yes	No	Comments/Transition Notes
5 ft turning space measure 12" from the door				NA
At least one stall				
Specification		Yes	No	Comments/Transition Notes
Clear floor space of 30" by 48"to allow a forward movement				NA
Mounted without pedestal or legs height 34" to top of rim				NA
Extends at least 22" from the wall				NA
Open knee space a minimum 19" deep 30" width and 27" high				NA
Cover exposed pipes with insulation				NA
Facuets operable with closed fists (level or spring activated handle				NA
At least one stall				
Specification		Yes	No	Comments/Transition Notes
Accessible to person using wheelchair at 60" wide by 72"				NA
Stall door is 36" wide				NA
Stall door swings out				NA
Stall door has a pull latch				NA
Lock on stall door is operable with a closed fist and 32"				NA
Coat hook is 54"high				NA
Stall door has a pull latch				NA
Toilet				

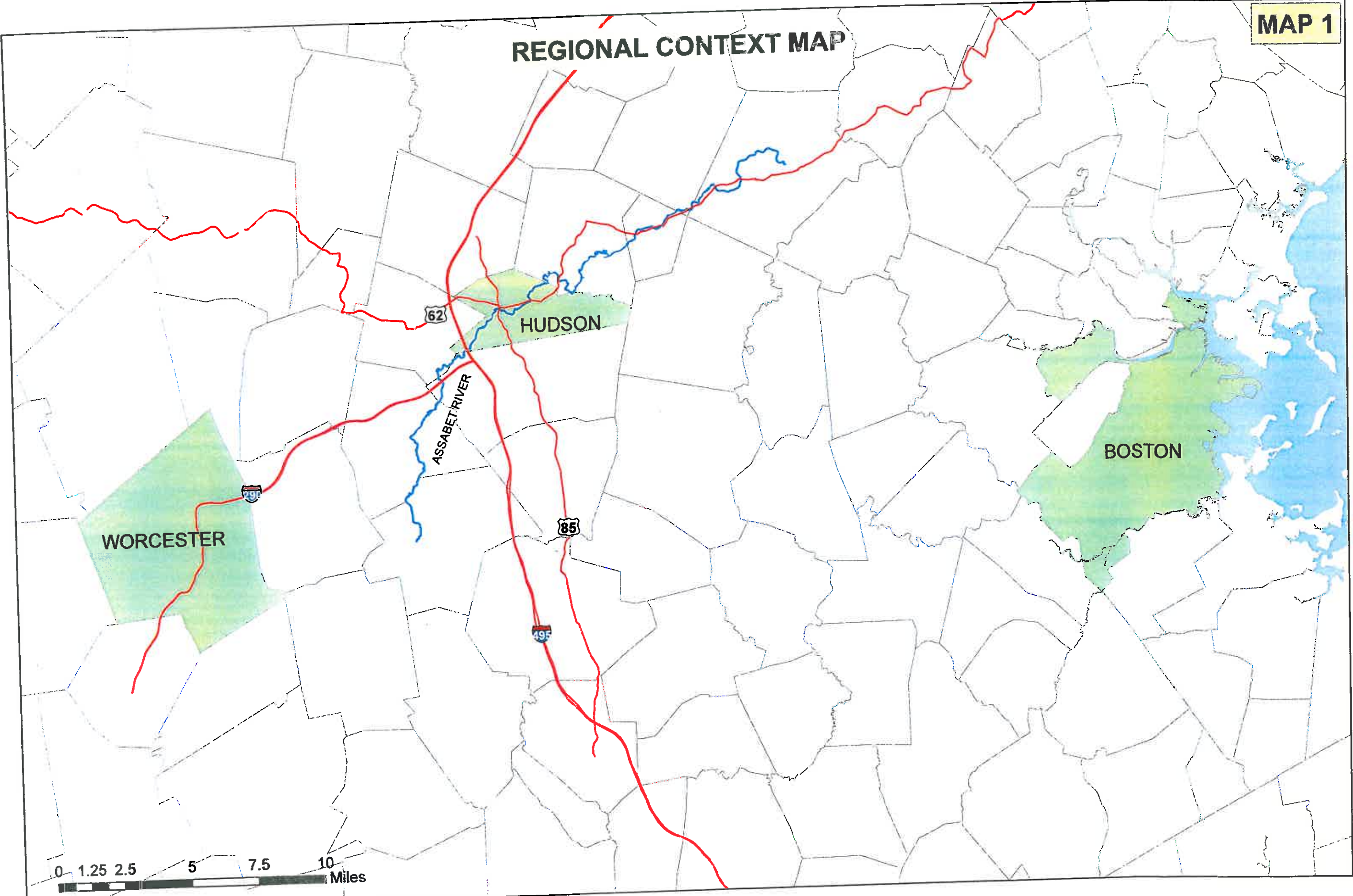
Wood Park ADA Worksheet

Item/Feature	Yes	No	Comments/Exception Notes
Seating Area	Yes	No	Comments/Exception Notes
18" from center to nearest side wall			
43" minimum clear space from center to farthest wall or fixture			
Top of seat 17-19" above the floor			
Grab Bars			
Item/Feature	Yes	No	Comments/Exception Notes
On back and side wall closest to toilet			NA
1 1/4" diameter			NA
1 1/2" clearance to the wall			NA
Located 30" above and parallel to the floor			NA
42" long			NA
Dispensers (soaps, paper towels) at least one of each a maximum 42" above the floor			NA
Drinking Fountains			
Item/Feature	Yes	No	Comments/Exception Notes
Spouts no higher than 36" from floor to outlet			NA
Hand operated push button or level controls			NA
Spouts located near front with stream of water as parallel			NA
If recessed, recess a minimum of 30" width and no deeper than depth of fountain			NA
If clear knee space underneath clear floor 30" x48" to allow parallel approach			NA

Appendix C: Maps

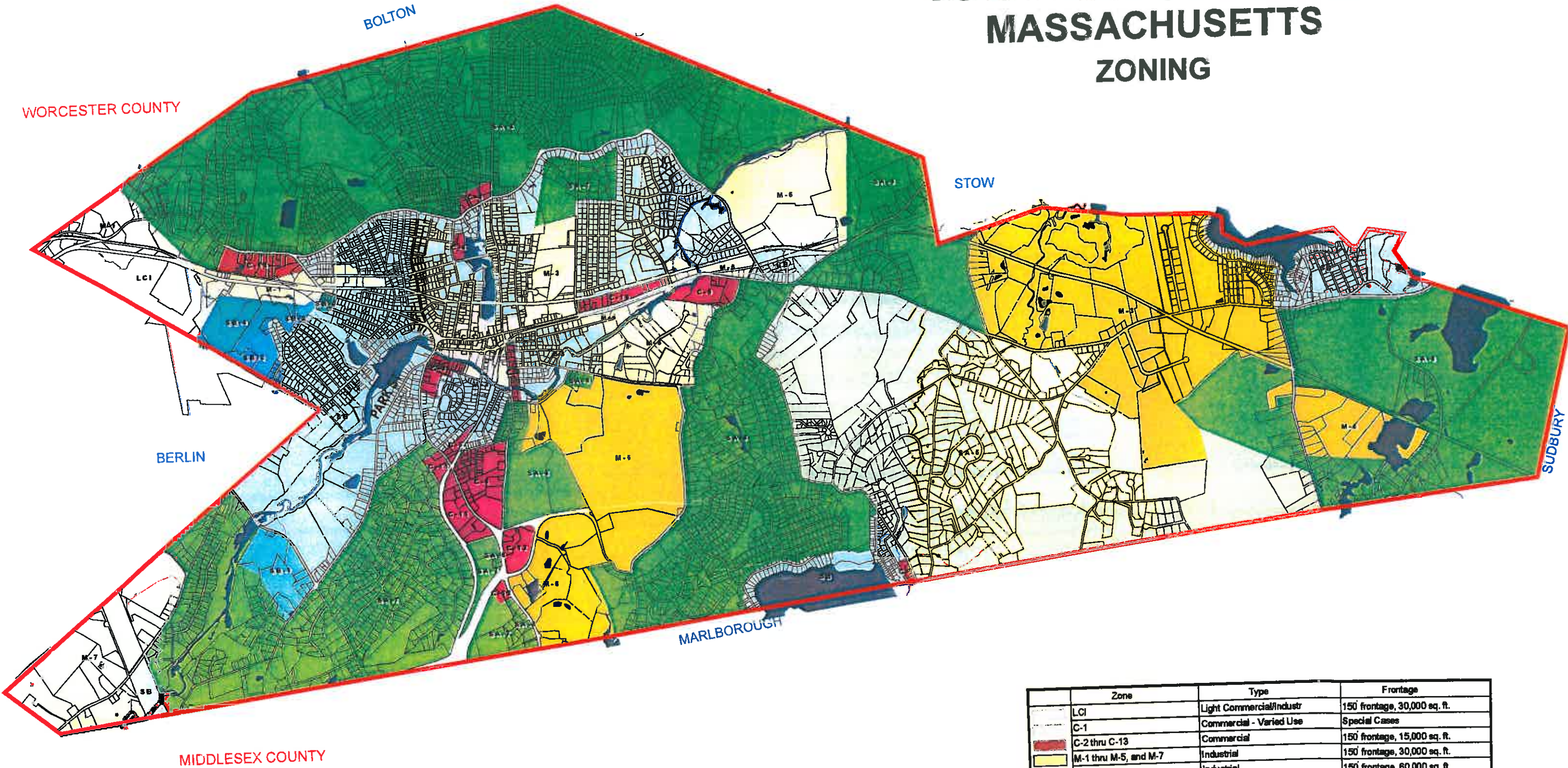
1. *Regional Context Map*
2. *Zoning Classifications*
3. *Soil Maps*
 - a. *Soil Classifications*
 - b. *Soils Reclassified*
4. *USGS Topography*
5. *Natural Resource Areas - Inventory Map*
6. *Adaptive Reuse Overlay District*
7. *Historic Sites and Scenic Views/Roads*
8. *Surface Geology, Basin Boundaries and Water Bodies*
9. *Watershed Protection District*
10. *Surface Water and Wetlands*
11. *Well Head Protection Areas and DEP Approved Zone II's*
12. *Action Plan Map*

REGIONAL CONTEXT MAP



0 1.25 2.5 5 7.5 10 Miles

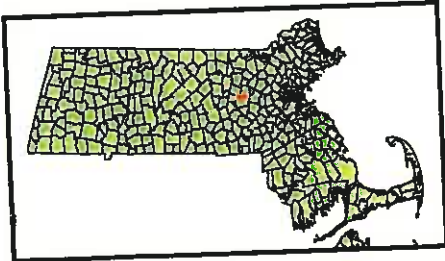
Town of HUDSON MASSACHUSETTS ZONING



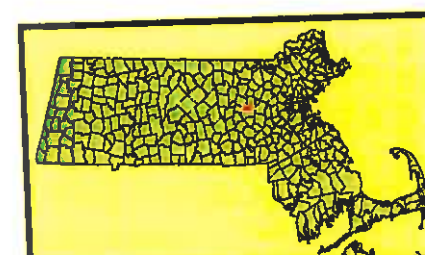
Zone	Type	Frontage
LCI	Light Commercial/Industr	150' frontage, 30,000 sq. ft.
C-1	Commercial - Varied Use	Special Cases
C-2 thru C-13	Commercial	150' frontage, 15,000 sq. ft.
M-1 thru M-5, and M-7	Industrial	150' frontage, 30,000 sq. ft.
M-6	Industrial	150' frontage, 60,000 sq. ft.
SA-5	Single Family	180' frontage, 60,000 sq. ft.
SA-7	Single Family	150' frontage, 30,000 sq. ft.
SA-8	Single Family	150' frontage, 40,000 sq. ft.
SB	Single Family	100' frontage, 15,000 sq. ft.
SB-1	Single Family	100' frontage, 15,000 sq. ft.
SB-2	Mobile Home	50' frontage, 5,000 sq. ft.
SB-3	Multi-Family	
SB-4	Mobile Home	50' frontage, 5,000 sq. ft.

ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ENSURE THAT THE SPATIAL DATA ON THIS MAP IS OF THE HIGHEST ACCURACY AND QUALITY, IT IS, NEVERTHELESS, ONLY APPROPRIATE FOR PLANNING PURPOSES. THE INFORMATION, AS PRESENTED, IS NOT INTENDED FOR THE LEGAL INTERPRETATION OF BOUNDARY, OR PROPERTY LINES, EITHER MUNICIPAL OR PRIVATE.

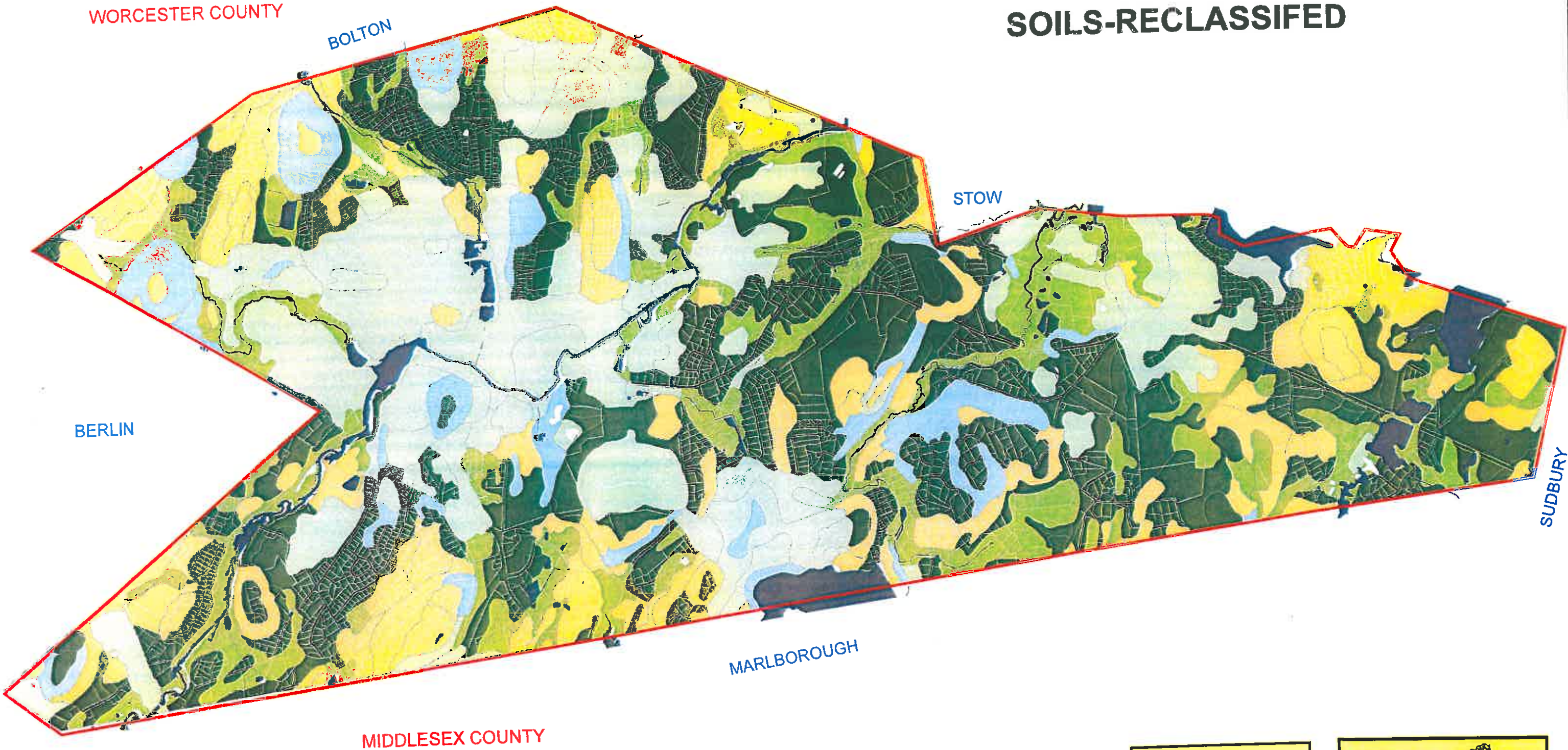
THIS ZONING MAP WAS CREATED BY THE HUDSON GIS DEPARTMENT. THE DATA IS A SPATIAL REPRODUCTION OF OFFICIAL MAPS ON FILE IN THE OFFICE OF THE TOWN CLERK.



MAP 3a

[illegible]

Town of HUDSON MASSACHUSETTS SOILS-RECLASSIFIED



MAP CREATED BY HUDSON GIS

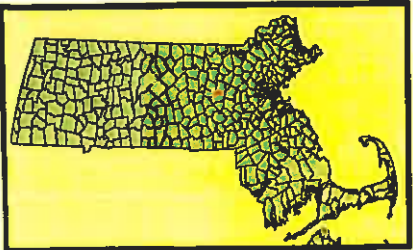
ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ENSURE THAT THE SPATIAL DATA ON THIS MAP IS OF THE HIGHEST ACCURACY AND QUALITY, IT IS, NEVERTHELESS, ONLY APPROPRIATE FOR PLANNING PURPOSES. THE INFORMATION AS PRESENTED, IS NOT INTENDED FOR THE LEGAL INTERPRETATION OF BOUNDARY, OR PROPERTY LINES, EITHER MUNICIPAL OR PRIVATE.

THE DATA TO CREATE THIS LAYER WAS PRODUCED BY A PROCESS OF SOIL TYPING. THE TOWN IN CONJUNCTION WITH LOCAL SOIL CONSERVATION MEMBERS, CREATED FOUR CLASSIFICATIONS INTO WHICH ALL SOILS WOULD BE PLACED. THE LAY SIMPLY TOOK ALL SOILS WHICH MATCHED A SOIL CLASSIFICATION AND GROUPED THEM TO FORM THE FOUR DISTINCT GROUPS SHOWN IN THE LEGEND. ALSO, A CATEGORY WAS CREATED FOR URBAN COMPLEX SOILS AS THEY DO NOT FIT INTO ANY SPECIFIC SOIL CLASS, AND GENERALLY REQUIRE ON SITE INVESTIGATION ANYWAY. IN ADDITION, WATER WAS SHOWN AS A SEPARATE ENTITY ON THE MAP SIMPLY TO KEEP UP WITH THE FORMAT OF THE OTHER SOIL MAPS, AND TO ENSURE THAT THE WATER DID NOT INTERFERE WITH SUBSEQUENT STATISTICAL ANALYSIS TO BE PERFORMED ON THE OTHER FIVE SOIL CLASSES, AT A LATER DATE.

Legend

SOIL_CLASS

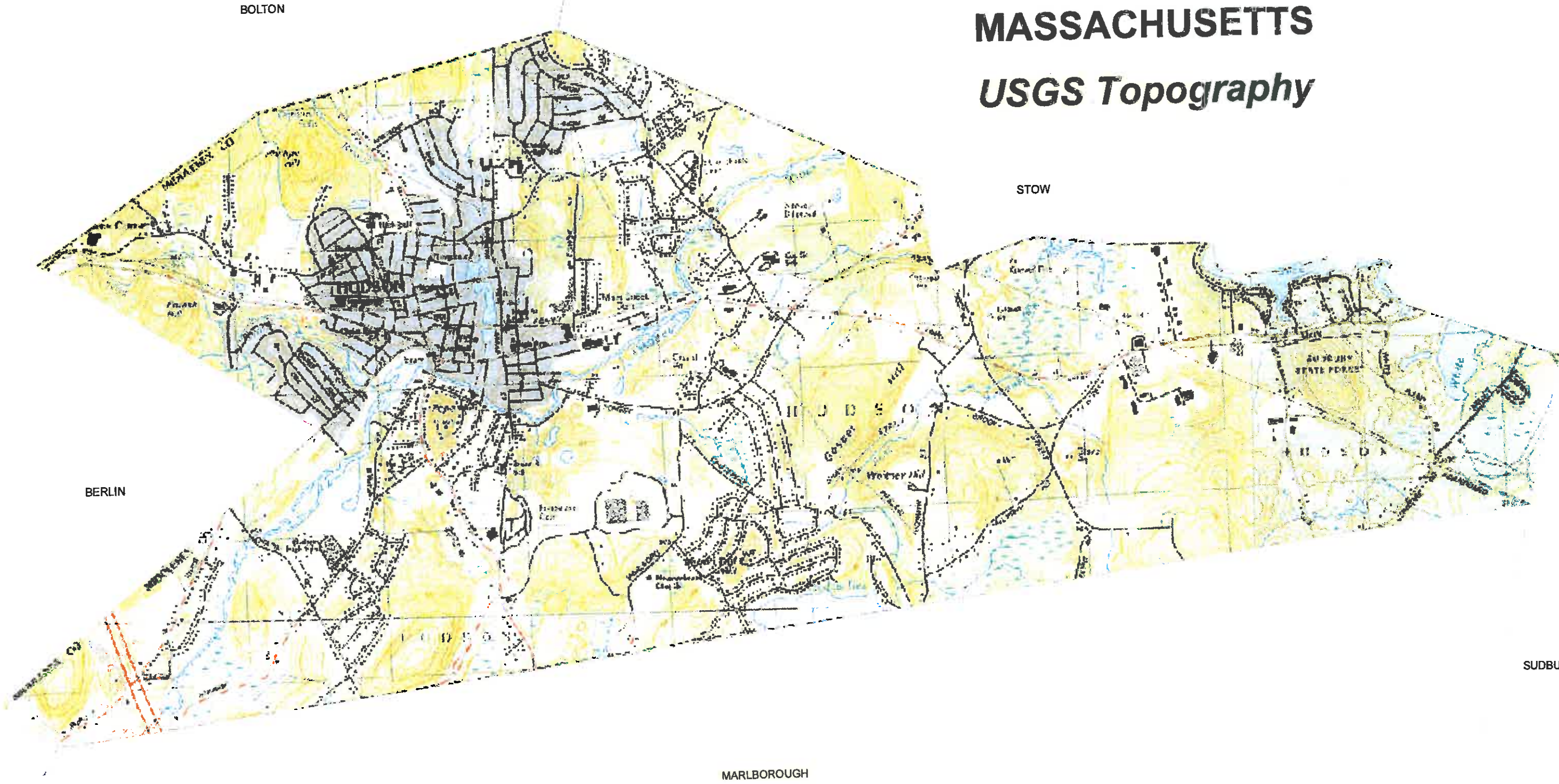
- DEEP SANDY OR GRAVELLY
- WOODLAND SOILS
- SLOW INFILTRATION RATES
- PRIME AGRICULTURE
- URBANIZED AREA OR UDORTHENT TYPE SOIL
- Water features
- Town Line



Town of HUDSON

MASSACHUSETTS

USGS Topography





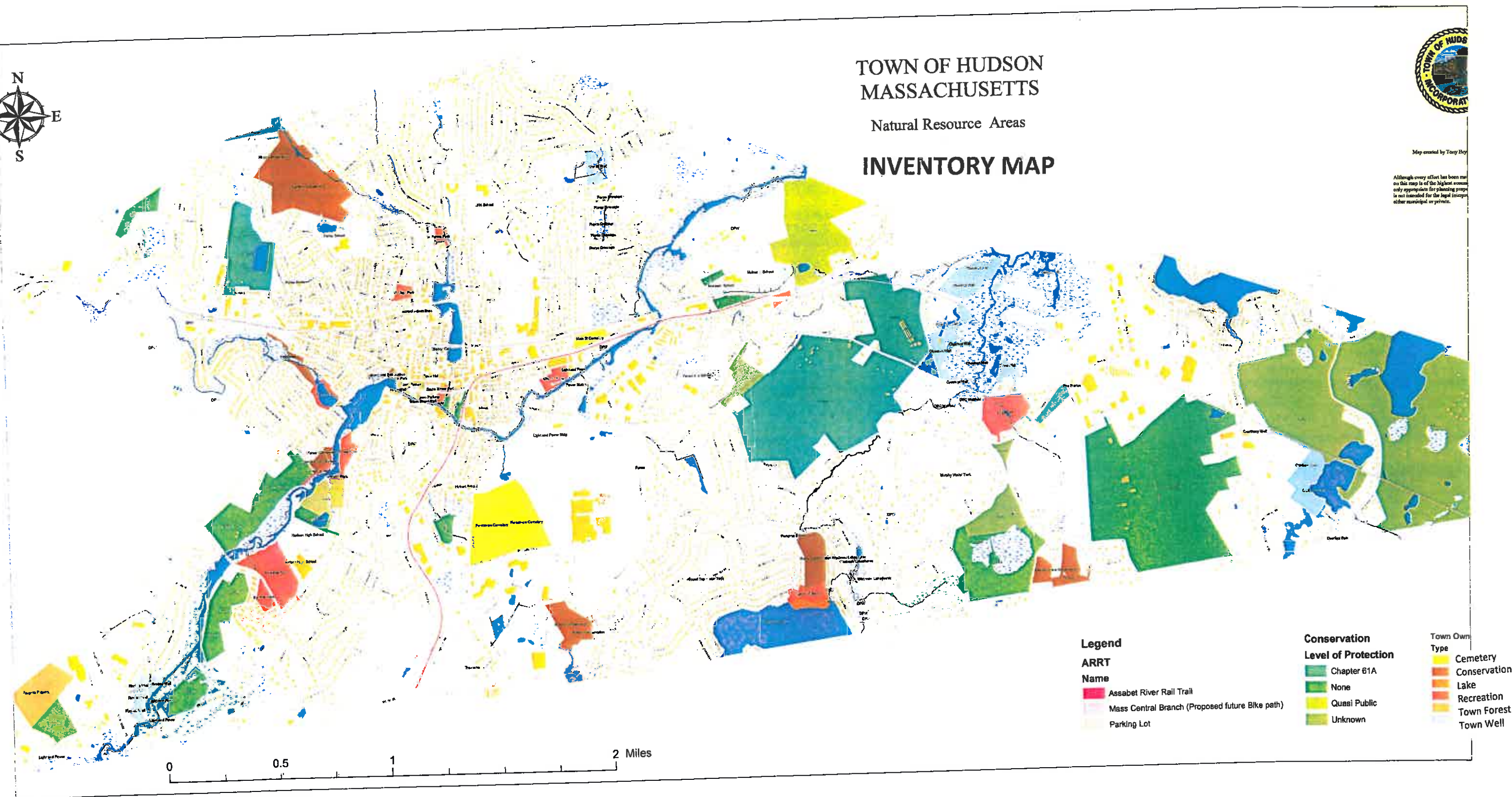
Map started by Tom

Although every effort has been made on this map is of the highest accuracy, it is only appropriate for planning and is not intended for the legal in either municipal or private.

**TOWN OF HUDSON
MASSACHUSETTS**

Natural Resource Areas

INVENTORY MAP



Legend

ARRT

Name _____

- Assabet River Rail Trail
Mass Central Branch (Proposed future Bike path)
Parking Lot

**Conservation
Level of Protection**

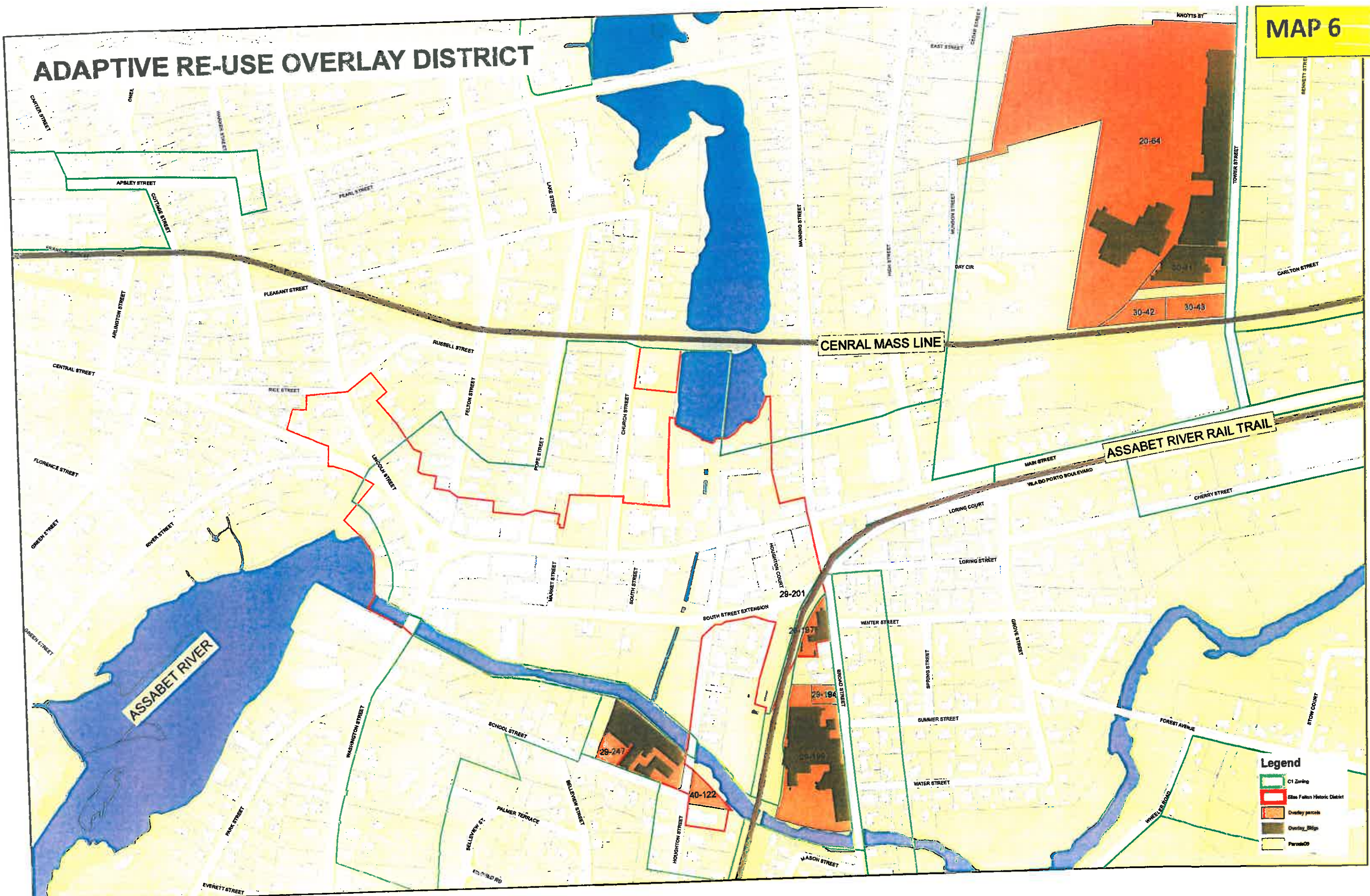
- Chapter 61A
None
Quasi Public
Unknown

Town Own
Type

- Cemetery
 Conservation
 Lake
 Recreation
 Town Forest
 Town Well

ADAPTIVE RE-USE OVERLAY DISTRICT

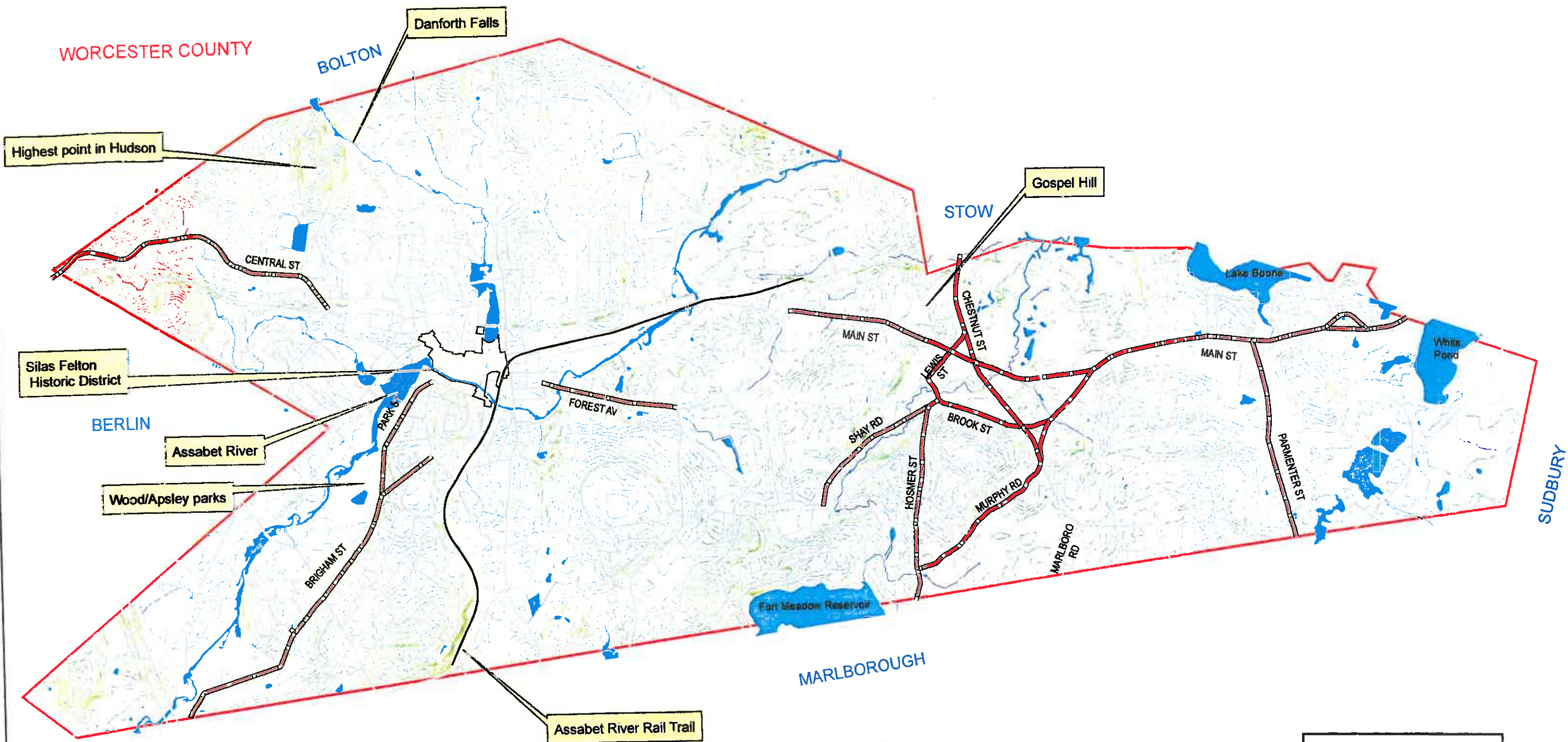
MAP 6



- Legend**
- C1 Zoning
 - State Felton Historic District
 - Overlay parcels
 - Overlay bridge
 - Parade09

HISTORIC SITES & SCENIC VIEWS

MAP 7



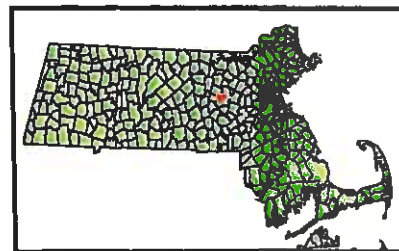
MIDDLESEX COUNTY

ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ENSURE THAT THE SPATIAL DATA ON THIS MAP IS OF THE HIGHEST ACCURACY AND QUALITY, IT IS, NEVERTHELESS, ONLY APPROPRIATE FOR PLANNING PURPOSES. THE INFORMATION, AS PRESENTED, IS NOT INTENDED FOR THE LEGAL INTERPRETATION OF BOUNDARY, OR PROPERTY LINES, EITHER MUNICIPAL OR PRIVATE.

THIS ZONING MAP WAS CREATED BY THE HUDSON GIS DEPARTMENT. THE DATA FOR THE VIEWS AND FEATURES CAME FROM THE TOWN CONSERVATION DEPARTMENT.

Legend

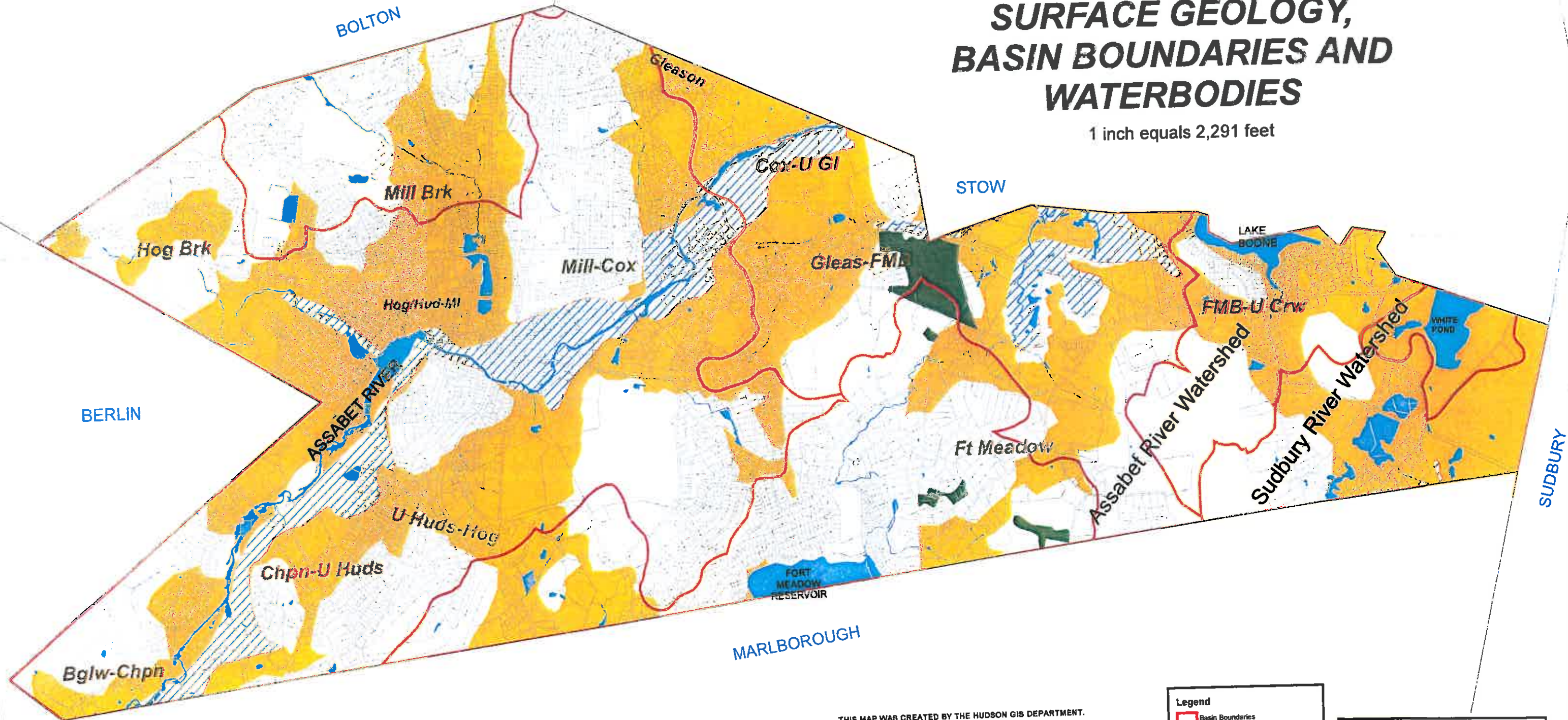
- Scenic Views
- ARRT
- Silas Felton Historic District
- Town Line
- 10' Contours



Town of HUDSON MASSACHUSETTS

SURFACE GEOLOGY, BASIN BOUNDARIES AND WATERBODIES

1 inch equals 2,291 feet



THIS MAP WAS CREATED BY THE HUDSON GIS DEPARTMENT.

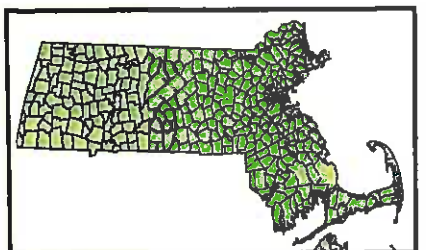
ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ENSURE THAT THE SPATIAL DATA ON THIS MAP IS OF THE HIGHEST ACCURACY AND QUALITY, IT IS, NEVERTHELESS, ONLY APPROPRIATE FOR PLANNING PURPOSES. THE INFORMATION, AS PRESENTED, IS NOT INTENDED FOR THE LEGAL INTERPRETATION OF BOUNDARY, OR PROPERTY LINES, EITHER MUNICIPAL OR PRIVATE.

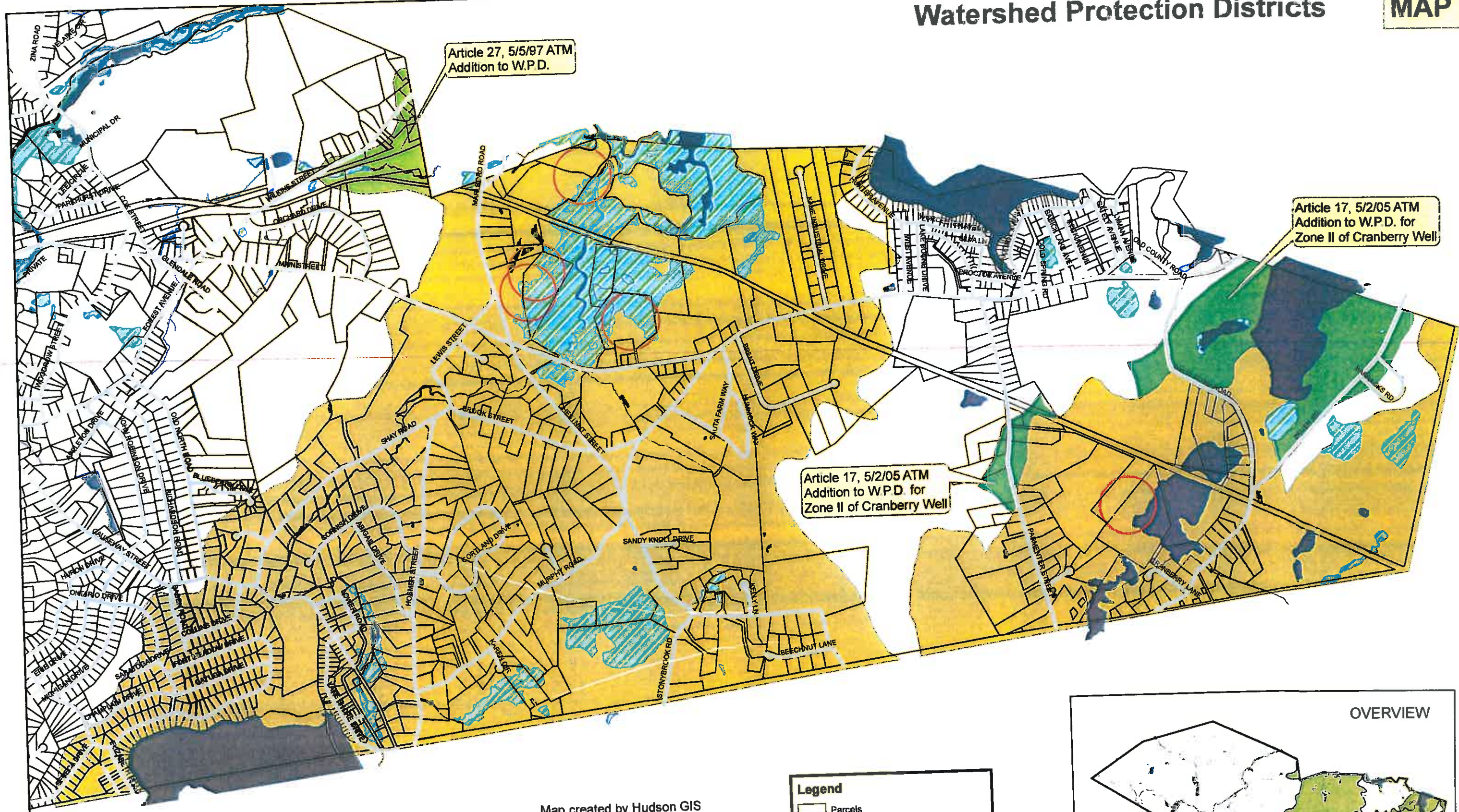
THE DATA FOR THE SURFACE GEOLOGY LAYER CAME FROM MASS/GIS, FROM THE SURFACE GEOLOGY LAYER CREATED IN 1993 FROM U.S.G.S. 1:250,000 SHEETS.

THE BASIN BOUNDARIES DATA WAS FROM THE HUDSON COMPREHENSIVE WASTEWATER MANAGEMENT PLAN.

Legend

- Basin Boundaries
- Parcels
- Town Line
- Streams
- Lakes, Ponds and the Assabet River
- Orchards
- Surface Geology
 - Sand and Gravel
 - Glacial Till or Bedrock
 - Floodplain alluvium





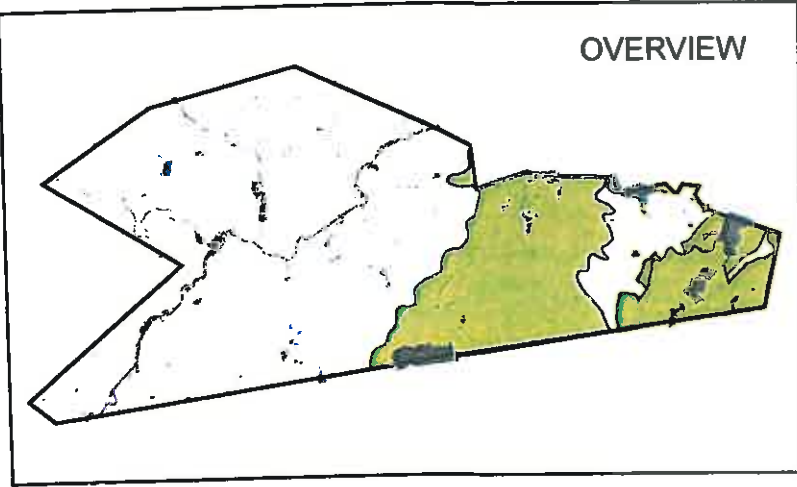
Map created by Hudson GIS
5/24/2006



Legend

- Parcels
- Wellhead Protection Area
- Wetland
- Lakes, Ponds and the Assabet River
- May 2, 2005 addition to WPD
- May 5, 1997 addition to WPD
- Original Watershed Protection District

Although every effort has been made to ensure that the spatial data on this map is of the highest accuracy and quality, it is, nevertheless, only appropriate for planning purposes. The information, as presented, is not intended for the legal interpretation of boundary or property lines, either municipal or private.

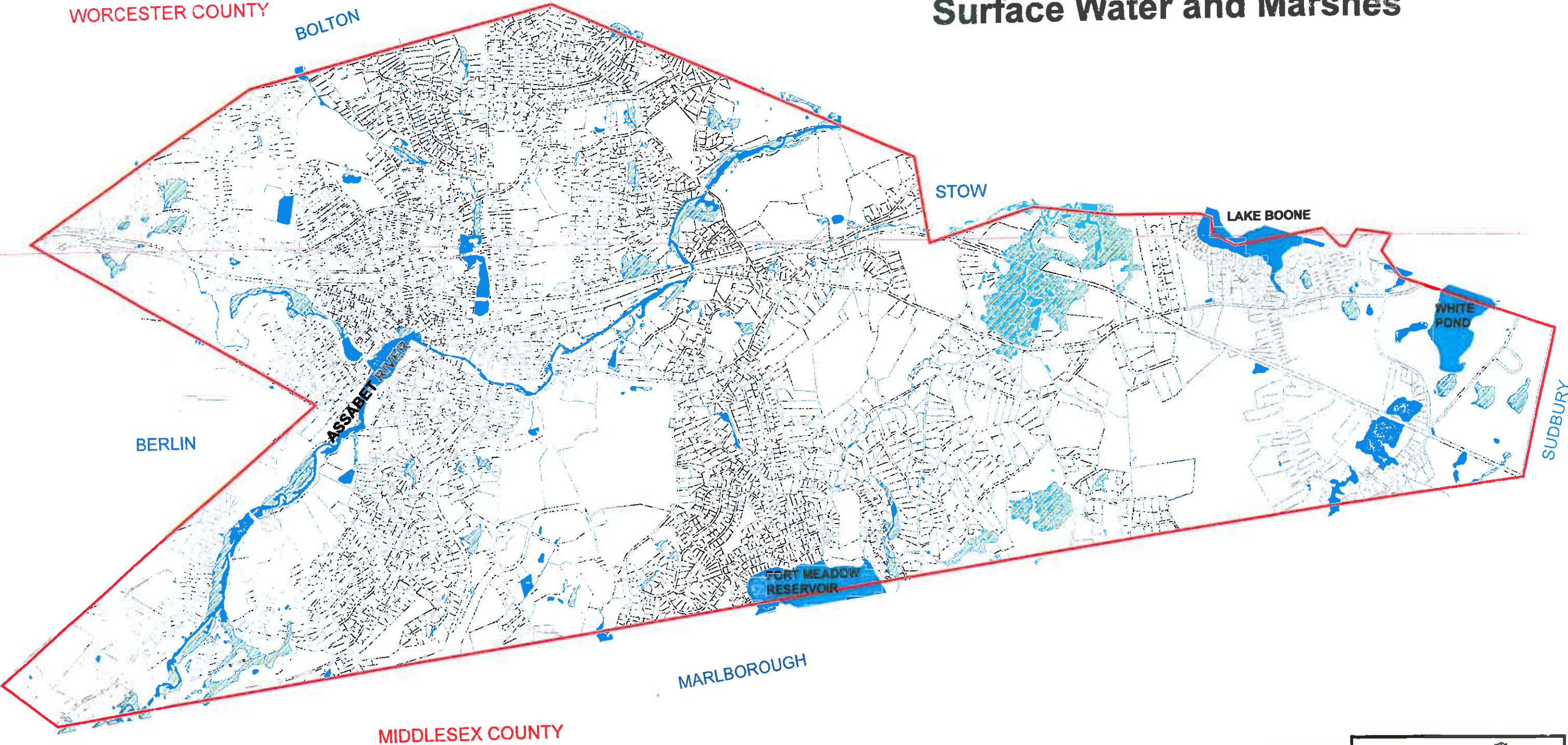


OVERVIEW

Town of HUDSON

MASSACHUSETTS

Surface Water and Marshes

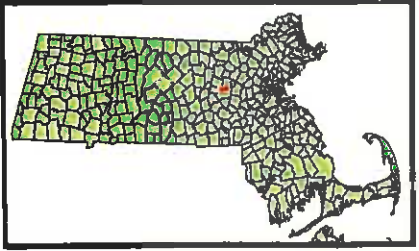


THIS MAP WAS CREATED BY THE HUDSON GIS DEPARTMENT.

ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ENSURE THAT THE SPATIAL DATA ON THIS MAP IS OF THE HIGHEST ACCURACY AND QUALITY, IT IS, NEVERTHELESS, ONLY APPROPRIATE FOR PLANNING PURPOSES. THE INFORMATION, AS PRESENTED, IS NOT INTENDED FOR THE LEGAL INTERPRETATION OF BOUNDARY, OR PROPERTY LINES, EITHER MUNICIPAL OR PRIVATE.

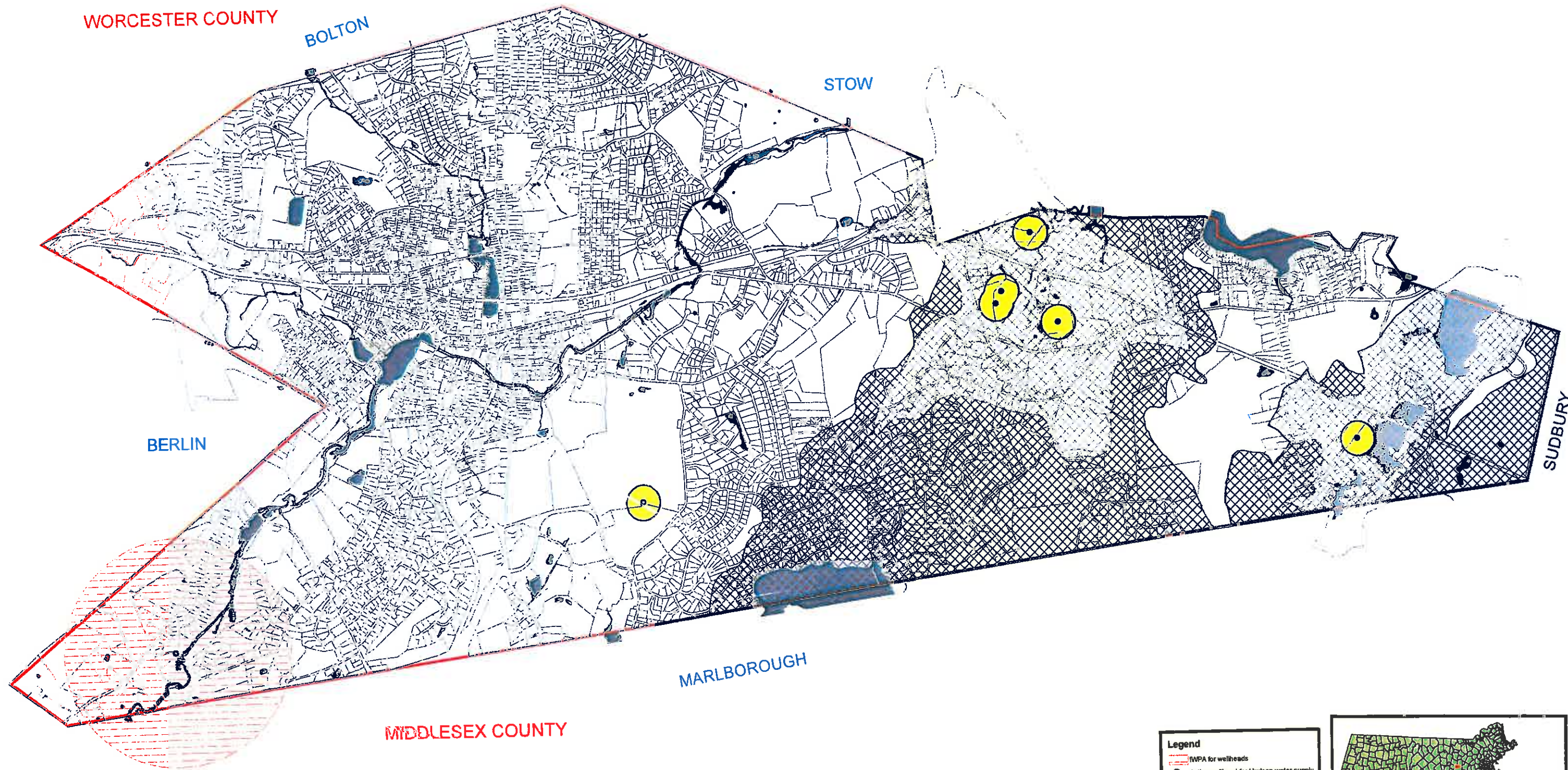
Legend

- Lakes, Ponds and the Assabet River
- Wetland
- Parcels
- Town Line



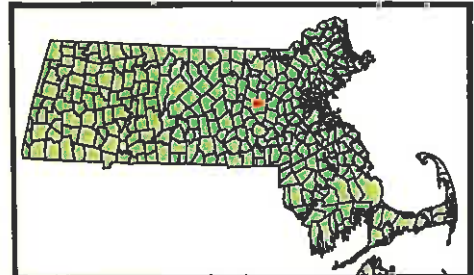
Well-Head Protection Areas and D.E.P Approved Zone II's

MAP 11



Legend

- WPA for wellheads
- Active wellhead for Hudson water supply
- Parcels
- DEP approved Zone 1
- DEP approved Zone 2
- Watershed Protection District
- Town Line
- Lakes, Ponds and the Assabet River



Town of Hudson Massachusetts Open Space Action Plan

MAP 12

